

Plotted By: Warner, Ryan - Sheet: S&I-DPHG-1301 - President Barack Obama - Riviera Beach, FL - Amazon - CTR - Layout: C-100 - COVER SHEET - ZONING - July 26, 2021 - 01:35:33pm - IK_Vol_Civil_149817027.dwg - 1301-pres-obama-riviera-beach - (\\CADD\CONSTR\Plans\1301-pres-obama-riviera-beach - 100 - COVER SHEET.dwg
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PROJECT TEAM:

OWNER/DEVELOPER:
 JOHNSON DEVELOPMENT ASSOCIATES
 100 DUNBAR STREET, SUITE 400
 SPARTANBURG, SC 29306
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 CONTACT: JAMES HOUSTON

CIVIL ENGINEER:
 KIMLEY-HORN AND ASSOCIATES, INC
 355 ALHAMBRA CIRCLE, SUITE 1400
 CORAL GABLES, FL 33134
 305-673-2025
 CONTACT: BRANDON SANSARICO, P.E.

SURVEYOR:
 LONGITUDE SURVEYORS
 7769 NW 48TH STREET SUITE 375
 DORAL, FLORIDA 33166
 (305) 463-0912

LANDSCAPE ARCHITECT:
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 CORAL GABLES, FL 33134
 305-673-2025
 CONTACT: MATTHEW WISNIEWSKI, L.A.

LIST OF CONTACTS:

STORMWATER
 CITY OF RIVIERA BEACH
 PUBLIC WORKS DEPARTMENT
 1481 W 15TH STREET
 RIVIERA BEACH, FL 33404
 (561) 845-4080
 CONTACT: TERRENCE N. BAILEY, P.E.

PUBLIC WORKS
 CITY OF RIVIERA BEACH
 PUBLIC WORKS DEPARTMENT
 1481 W 15TH STREET
 RIVIERA BEACH, FL 33404
 (561) 845-4080

UTILITIES
 CITY OF RIVIERA BEACH
 UTILITY SPECIAL DISTRICT
 600 WEST BLUE HERON BLVD.
 RIVIERA BEACH, FL 33404
 (561) 845-4185

BUILDING AND ZONING
 CITY OF RIVIERA BEACH
 DEVELOPMENT SERVICES DEPARTMENT
 600 WEST BLUE HERON BLVD.
 RIVIERA BEACH, FL 33404
 (561) 845-4185

CABLE PROVIDER
 COMCAST CABLE
 3960 RCA BLVD., SUITE 6002
 PALM BEACH GARDENS, FL 33410
 (561) 804-0973
 CONTACT: TONY SPRINGSTEEL

ELECTRIC PROVIDER
 FLORIDA POWER AND LIGHT
 303 HASTINGS ROAD
 ST. AUGUSTINE, FL 32084
 (386) 586-6403
 CONTACT: JOEL BRAY

LEGAL DESCRIPTION

PARCEL 1 AND PARCEL 2, PLAT OF THIRTEENTH STREET INDUSTRIAL, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 102, PAGE(S) 23-24, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

TOGETHER WITH:

A TRACT OF LAND LYING IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 42, SOUTH, RANGE 43 EAST, PALM BEACH COUNTY FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT IN THE NORTH LINE OF THE SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 305.95 FEET WEST OF THE NORTHEAST CORNER, WHICH POINT ALSO MARKS THE CENTERLINE OF OLD DIXIE HIGHWAY, THENCE CONTINUING WESTERLY ALONG THE NORTH LINE OF SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 635 FEET; THENCE SOUTHERLY MAKING AN ANGLE OF 91°15'20", MEASURED EAST TO SOUTH FROM THE LAST COURSE, A DISTANCE OF 490 FEET; THENCE EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 485.00 FEET; THENCE NORTHEASTERLY MAKING AN ANGLE OF 159°30'00" MEASURED FROM THE WEST TO NORTH FROM THE LAST COURSE, A DISTANCE OF 336 FEET MORE OR LESS TO THE CENTERLINE OF OLD DIXIE HIGHWAY, THENCE NORTHWESTERLY ALONG SAID CENTERLINE A DISTANCE OF 397 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SUBJECT TO THE RIGHT OF WAY FOR OLD DIXIE HIGHWAY, AS SHOWN ON ROAD PLAT BOOK 3, PAGES 190 THROUGH 199, INCLUSIVE, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 2

10.00' NON-EXCLUSIVE EASEMENT FOR THE MAINTENANCE OF SEWER LINES PURSUANT TO EASEMENT AGREEMENT BETWEEN RAO ELECTRIC CO. INC. AND ANTHONY F. D'ANNA, RECORDED IN OFFICIAL RECORD BOOK 3548, PAGE 1419 GRANTING PARCEL 1 AND EASEMENT ONTO THE WEST 10 FEET OF LOT 5, BLOCK U OF THE RE-PLAT OF PLAT 1 LEWIS TERMINALS, SAID RE-PLAT BEING RECORDED IN PLAT BOOK 27, PAGES 39-41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BEING THE SAME PROPERTY AS DESCRIBED AS FOLLOWS:

A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33; THENCE ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 305.95 FEET TO THE INTERSECTION WITH THE ORIGINAL CENTERLINE OF A 30 FOOT RIGHT OF WAY FORMERLY KNOWN AS OLD DIXIE HIGHWAY; THENCE CONTINUE ALONG SAID NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 70.34 TO A POINT ON THE EXISTING WESTERLY RIGHT OF WAY LINE OF PRESIDENT BARACK OBAMA HIGHWAY (FORMERLY KNOWN AS OLD DIXIE HIGHWAY) AS SHOWN ON ROAD PLAT BOOK 3, PAGES 190 THROUGH 199, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTH 20°58'19" EAST, A DISTANCE OF 427.45 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, AS DEPICTED ON THE PLAT OF FUTURA INDUSTRIAL SUBDIVISION, AS SHOWN ON PLAT BOOK 31, PAGE 175, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 70°59'33" WEST, A DISTANCE OF 270.89 FEET; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, NORTH 88°30'27" WEST, A DISTANCE OF 485.00 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 02°44'53" EAST, A DISTANCE OF 490.00 FEET TO A POINT ON THE AFOREMENTIONED NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33 AND TO A POINT ON THE SOUTH LINE OF THE RE-PLAT OF PLAT NO. 1 LEWIS TERMINALS, AS SHOWN ON PLAT BOOK 27, PAGES 39 THROUGH 41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE SOUTH 88°30'27" EAST, A DISTANCE OF 564.66 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH EASEMENT BETWEEN RAO ELECTRIC CO. INC. AND ANTHONY F. D'ANNA, RECORDED IN OFFICIAL RECORD BOOK 3548, PAGE 1419 GRANTING SUBJECT PROPERTY A 10.00' NON EXCLUSIVE EASEMENT FOR THE MAINTENANCE OF SEWER LINES ONTO THE WEST 10 FEET OF LOT 5, BLOCK U OF THE RE-PLAT OF PLAT 1 LEWIS TERMINAL T CORDED IN PLAT BOOK 27, PAGES 39-41, PUBLIC RECORDS OF PALM BEACH COUNT

PERMIT PLANS

FOR PARCEL THREE OF

TENANT IMPROVEMENT 1301 PRES. OBAMA HWY

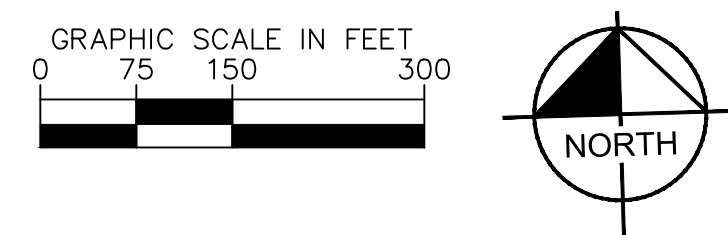
1301 PRESIDENT BARACK OBAMA HIGHWAY
RIVIERA BEACH, FL 33404

26 July 2021

SECTION 33, TOWNSHIP 42, RANGE 43



LOCATION MAP



Kimley»Horn

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 355 ALHAMBRA CIRCLE, SUITE 1400
 CORAL GABLES, FL 33134
 PHONE: 305-673-2025

Sheet List Table	
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C-201	DEMOLITION PLAN
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C-400	PAVING GRADING AND DRAINAGE PLAN
C-401	PAVING GRADING AND DRAINAGE DETAILS (SHT. 1)
C-401	PAVING GRADING AND DRAINAGE DETAILS (SHT. 2)
C-402	TYPICAL SECTIONS
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.A1.10	OVERALL FLOOR PLAN
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.A2.11	BUILDING ELEVATIONS
.A2.12	BUILDING ELEVATIONS
.A2.13	ENLARGED BUILDING ELEVATIONS
E0.10	OVERALL LIGHTING PLAN - SITE
E0.11	ENLARGED SITE LIGHTING PLAN - WEST PARKING LOT

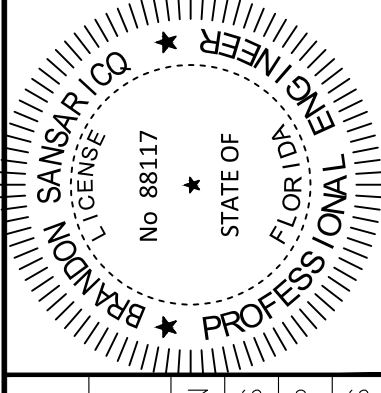
CONDITIONS OF APPROVAL

- NO PARKING IS ALLOWED IN THE RIGHT OF WAY
- IF DURING PEAK PERIODS THIS PROJECT UTILIZES ADDITIONAL DRIVERS IN PRIVATE VEHICLES TO SUPPLEMENT THE FLEET, THOSE VEHICLES ARE REQUIRED TO BE MARKED WITH A PLACARD OR MAGNET WHICH CLEARLY SHOWS THAT IT IS FUNCTIONING AS A COMMERCIAL VEHICLE.
- NPDES PERMIT IS REQUIRED

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No.	REVISIONS	DATE	BY

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 WWW.KIMLEY-HORN.COM CA 00000696



KHA PROJECT	149817027
DATE	7/26/2021
SCALE AS SHOWN	BS
DESIGNED BY	MP
DRAWN BY	BS
CHECKED BY	BS

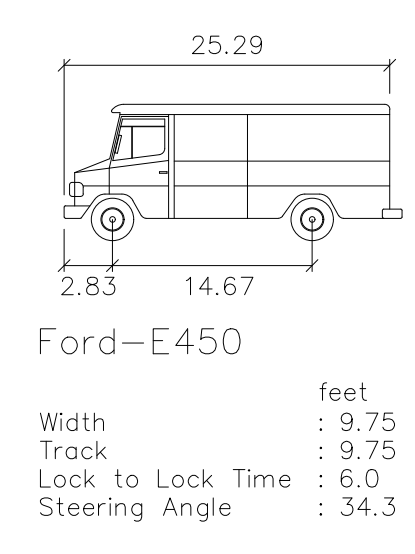
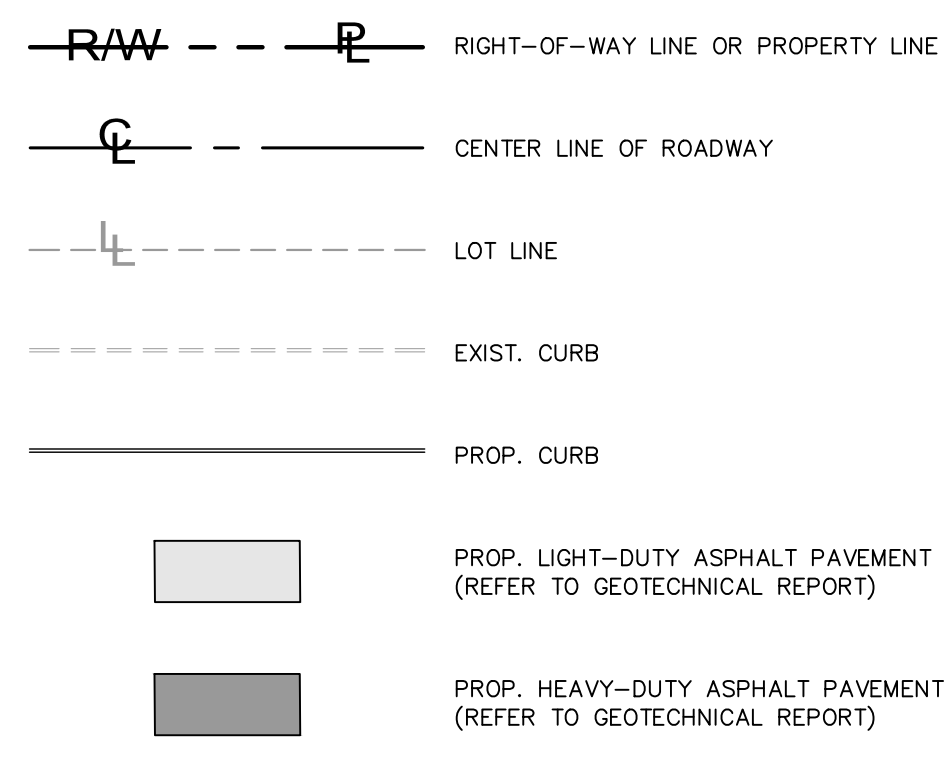
COVER SHEET
 TENANT IMPROVEMENT
 1301 PRES. OBAMA HWY
 PREPARED FOR
 BAKER BARRIOS ARCHITECTS
 PALM BEACH COUNTY, FL

SHEET NUMBER
C-100

Sunshine 811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

Plotted By: Warner, Egan, Sheet: Set:DPHG, 1301 President Barack Obama Riviera Beach, FL, Amazon, CTR, Layout: C-102, SITE PLAN - ZONING, July 26, 2021, 01:35:58pm, k:\cor_eva\49817027-dhg-1301-pres-obama-riviera-beach-fl\CAADD\CONSTR\plansheets\C-102-SITE PLAN.dwg
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LEGEND:



SITE DATA:

NAME OF APPLICATION: TENANT IMPROVEMENT
 ADDRESS OF PROPERTY: 1301 PRESIDENT BARACK OBAMA HWY, RIVIERA BEACH, FL 33404
 FUTURE LAND USE DESIGNATION: GENERAL INDUSTRIAL
 ZONING DESIGNATION: GENERAL INDUSTRIAL
 SECTION/TOWNSHIP/RANGE: 33/42/43
 PROPERTY CONTROL NO.: 56-43-42-32-40-001-0000
 TOTAL SITE AREA: 509,502 SF (11.70 AC)

BUILDING DATA:

OFFICE: 8,102 SF (0.19 AC)
 WAREHOUSE: 112,180 SF (2.58 AC)
 TOTAL: 120,282 SF (2.67 AC)
 IMPERVIOUS AREA: 403,978 (79.29%) SF (9.28 AC)
 PERVIOUS AREA: 105,524 (20.71%) SF (2.42 AC)
 TOTAL: 509,502 (100%) SF (11.70 AC)
 BUILDING AREA: 120,282 SF (2.76 AC)
 SITE AREA: 509,502 SF (11.70 AC)
 F.A.R.: 0.2361

IMPERVIOUS AREA*: 404,381 (79.37%) SF (9.28 AC)
 PERVIOUS AREA*: 105,121 (20.63%) SF (2.42 AC)
 TOTAL: 509,502 (100%) SF (11.70 AC)

*DENOTES EXISTING CONDITIONS
 *ASSUMPTION OF 15% PERVIOUS/85% IMPERVIOUS FOR PARCEL 2

PARKING DATA:

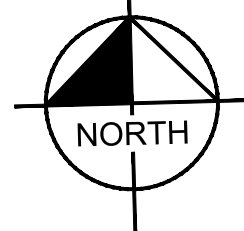
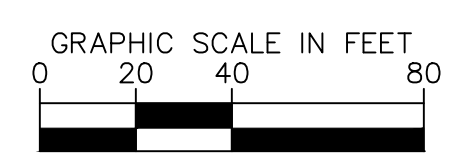
OFFICE: 28(1 SPACE/300 SF)
 WAREHOUSE: 113(1 SPACE/1000 SF)
 TOTAL REQUIRED PARKING: 141
 TOTAL ASSOCIATE PARKING: 98
 TOTAL FLEET PARKING: 228
 TOTAL PROVIDED PARKING: 326
 HANDICAP SPACES REQUIRED: 4
 HANDICAP SPACES PROVIDED: 5
 NO PARKING IS ALLOWED IN THE RIGHT OF WAY.

SETBACKS:

SIDE EXISTING: PROVIDED:
 FRONT (SOUTH) 10 FT 10 FT
 REAR (NORTH) 5 FT 5 FT
 SIDE (EAST) 0 FT 0 FT
 SIDE CORNER (WEST) 10 FT 10 FT

UNITY OF CONTROL:

PARCEL A MAY BE USED AND OPERATED AS A STAND-ALONE BUILDING AFTER SECURING SEPARATE PERMITS AS A PART OF A SITE PLAN MODIFICATION ADMINISTRATIVELY APPROVED BY CITY STAFF SO LONG AS THE SITE PLAN DOES NOT DEVIATE GREATER THAN FIVE (5) PERCENT FROM THE PORTION OF THE ORIGINALLY APPROVED SITE PLAN WITH RESPECT TO PARCEL A.



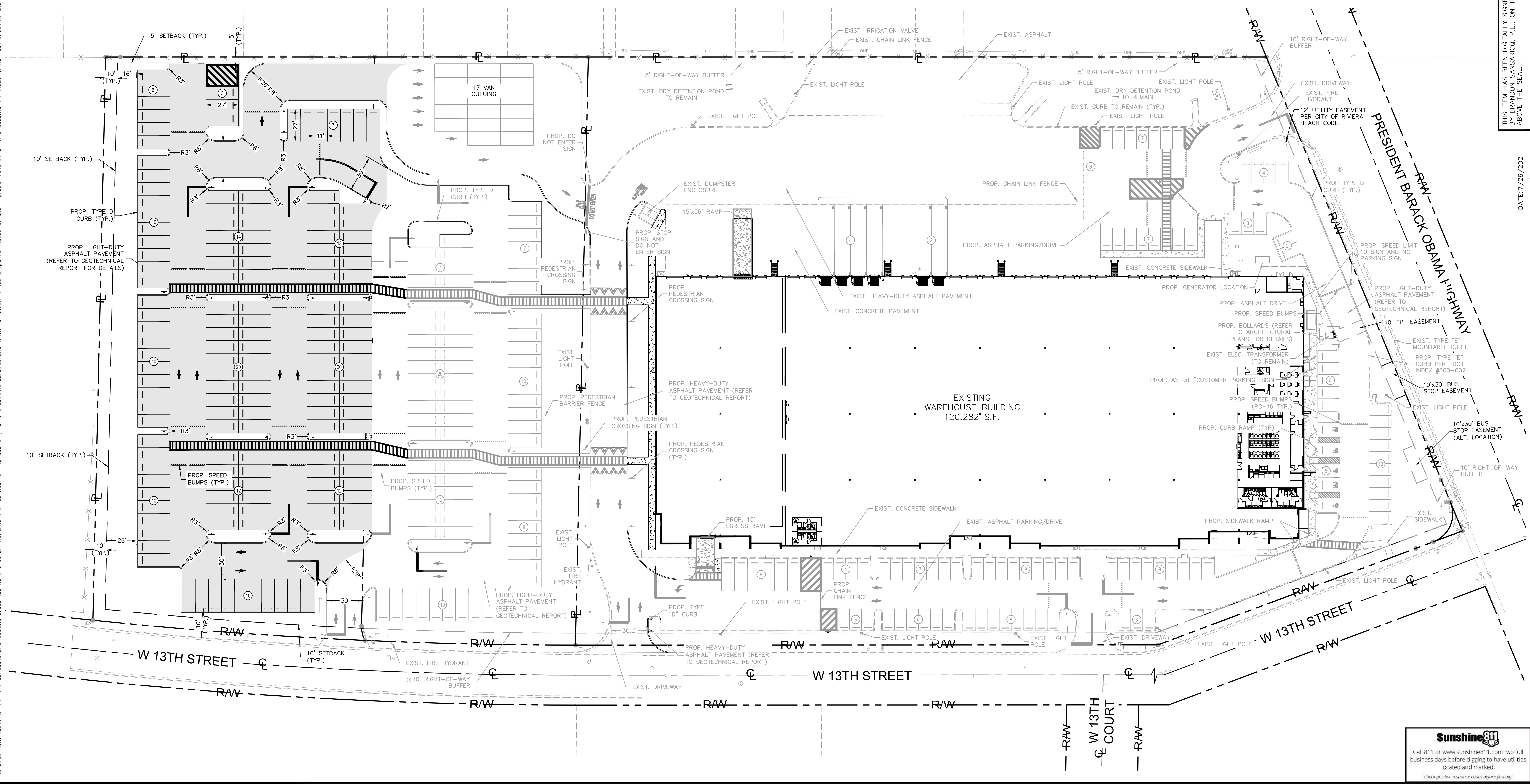
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 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM CA 00000696

KHA PROJECT: 149817027
 DATE: 7/26/2021
 SCALE: AS SHOWN
 DESIGNED BY: BS
 DRAWN BY: MP
 CHECKED BY: BS
 DATE: 7/26/2021

SITE PLAN
 TENANT IMPROVEMENT
 1301 PRES. OBAMA HWY
 PREPARED FOR
 BAKER BARRIOS ARCHITECTS
 PALM BEACH COUNTY, FL

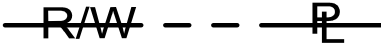
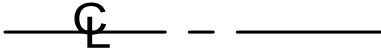


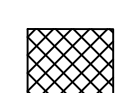


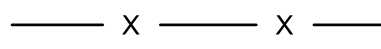
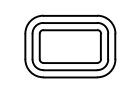
SHEET NUMBER
C-102



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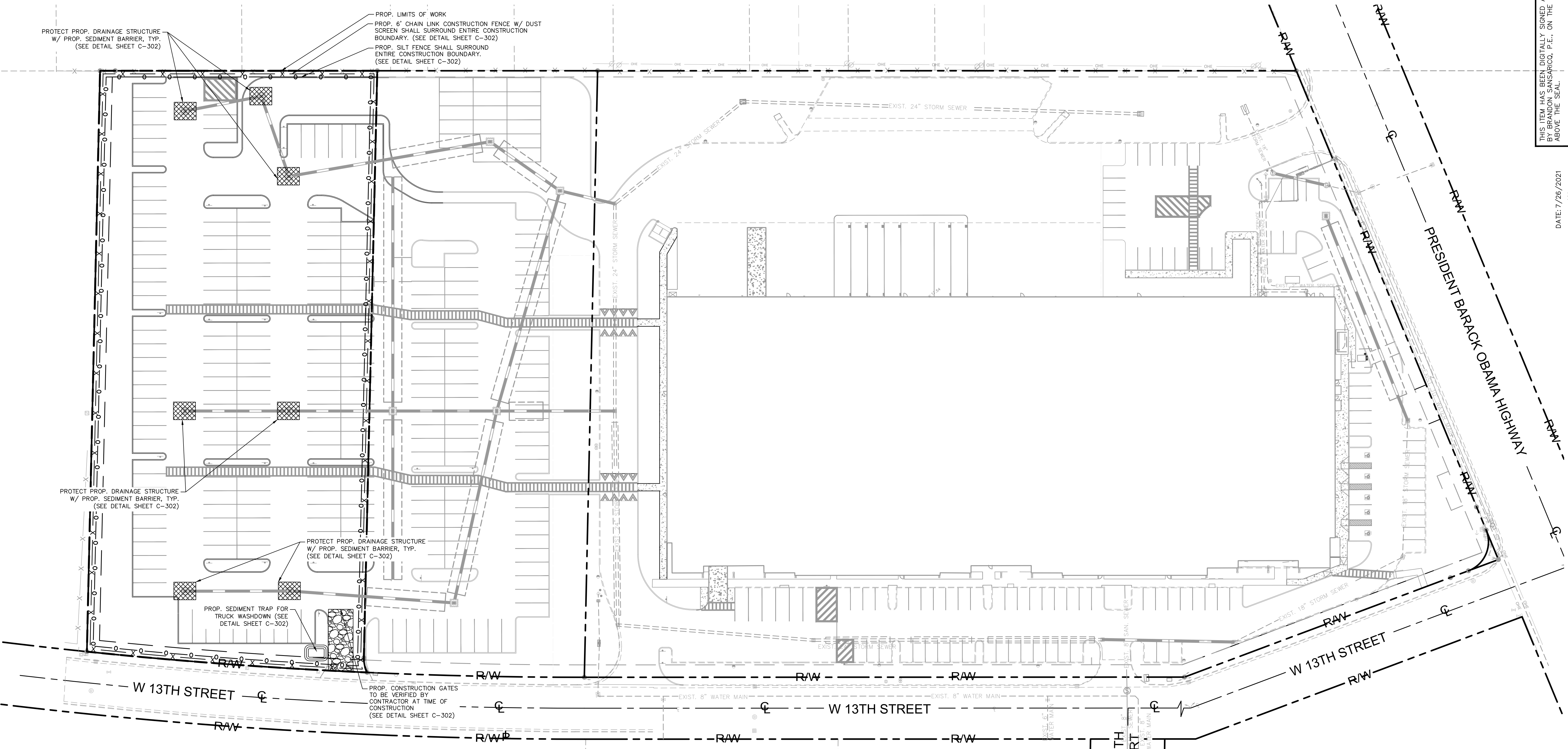
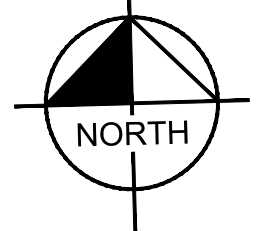
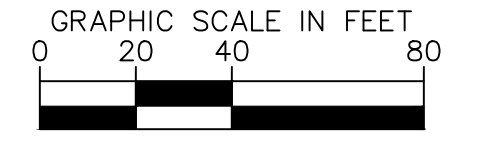
Plotted By: Wagner, Ryan Sheet Set: DPH6 1301 President Barack Obama Riviera Beach FL Amazon CTR Layout: C-301 EROSION AND SEDIMENT CONTROL PLAN - ZONING July 26, 2021 01:36:47pm K:\or_giv\149817027-dph6 1301 pres obama riviera beach n\cadd\cons\plansheets\C-301 EROSION AND SEDIMENT CONTROL PLAN.dwg
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LEGEND:

-  RIGHT-OF-WAY LINE OR PROPERTY LINE
-  CENTER LINE OF ROADWAY
-  LOT LINE
-  PROP. LIMITS OF WORK
-  SEDIMENT BARRIER CONTROL FOR STORM STRUCTURE
-  PROP. STABILIZED CONSTRUCTION ENTRANCE
-  PROP. SILT FENCE (OFFSET FOR CLARITY)
-  PROP. 6' CHAIN LINK CONSTRUCTION FENCE WITH DUST SCREEN (OFFSET FOR CLARITY)
-  PROP. SEDIMENT TRAP STATION

NOTES:

1. CONTRACTOR TO REUSE EXISTING FENCE AS CONSTRUCTION FENCE AT HIS/HER DISCRETION.
2. CONTRACTOR TO INSTALL SILT FENCE IN AREAS OF CONSTRUCTION AND COORDINATE WITH THE CITY OF RIVIERA BEACH.
3. CONSTRUCTION ENTRANCE AND WASHDOWNS TO BE PER CONTRACTOR SPECIFIED LOCATION.

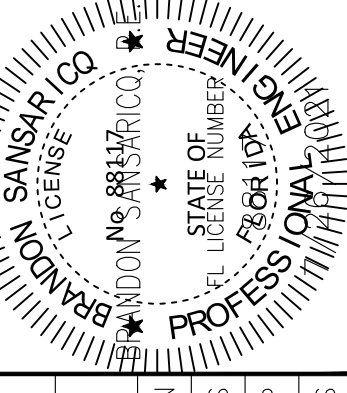


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KHA PROJECT	149817027
DATE	7/26/2021
SCALE	AS SHOWN
DESIGNED BY	BS
DRAWN BY	MP
CHECKED BY	BS

EROSION AND SEDIMENT CONTROL PLAN

TENANT IMPROVEMENT
 1301 PRES. OBAMA HWY
 PREPARED FOR
 BAKER BARRIOS ARCHITECTS
 PALM BEACH COUNTY FL

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SHEET NUMBER
C-301

No.	REVISIONS	DATE	BY

Plotted By: Wagner, Ryan Sheet Set: DRH6 1301 President Barack Obama Riviera Beach, FL Amazon, CTR. Layout: C-400 PAVING GRADING AND DRAINAGE PLAN - ZONING July 26, 2021 01:37:18pm K:\proj_civil\149817027-drh6 1301 pres obama riviera beach fl\cadd\const\plan\sheet\C-400 PAVING GRADING AND DRAINAGE PLAN.dwg
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LEGEND:

	RIGHT-OF-WAY LINE OR PROPERTY LINE		EXIST. SPOT ELEVATION
	CENTER LINE OF ROADWAY		EXIST. TYPE "D" CURB
	LOT LINE		PROPOSED TYPE "D" CURB
	PROP. HIGH GRADE BREAK		PROPOSED SOLID DRAINAGE PIPE AND MANHOLE
	PROP. LIGHT DUTY ASPHALT (REFER TO GEOTECHNICAL REPORT)		PROP. CATCH BASIN
	PROP. HEAVY DUTY ASPHALT (REFER TO GEOTECHNICAL REPORT)		PROPOSED PERFORATED DRAINAGE PIPE AND EXFILTRATION TRENCH
	PROP. CONCRETE SIDEWALK		FLOW DIRECTION ARROW
	PROPOSED SPOT ELEVATIONS		BOTTOM OF CURB, TOP OF CURB, SIDEWALK, EDGE OF PAVEMENT
	MATCH EXISTING ELEVATION		BUILDING OUTLINE

- ### NOTES:
- ALL WALKWAYS SHALL HAVE A MAXIMUM SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL. ALL PEDESTRIAN CURB RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 (V:H). ALL LANDINGS AT STAIRS AND RAMPS SHALL HAVE A MAXIMUM SLOPE OF 2% (BOTH DIRECTIONS).
 - THE ASPHALT PAVEMENT SURFACE WITHIN HANDICAP PARKING STALLS AND ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATION. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCE BUT SHALL NOT EXCEED THE MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY PAVEMENT FOUND TO EXCEED THE MAXIMUMS SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT OR SITE ENGINEER REGARDING ANY GRADE REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON VARIOUS RECORDS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
 - ALL CUT AND FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - STORM PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) IN AREAS OUTSIDE THE PROP. BUILDING/PROP. BUILDING OVERHANG
 - IF ANY EXISTING DRAINAGE STRUCTURES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, TO REPLACE THEM, AS NECESSARY.
 - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.

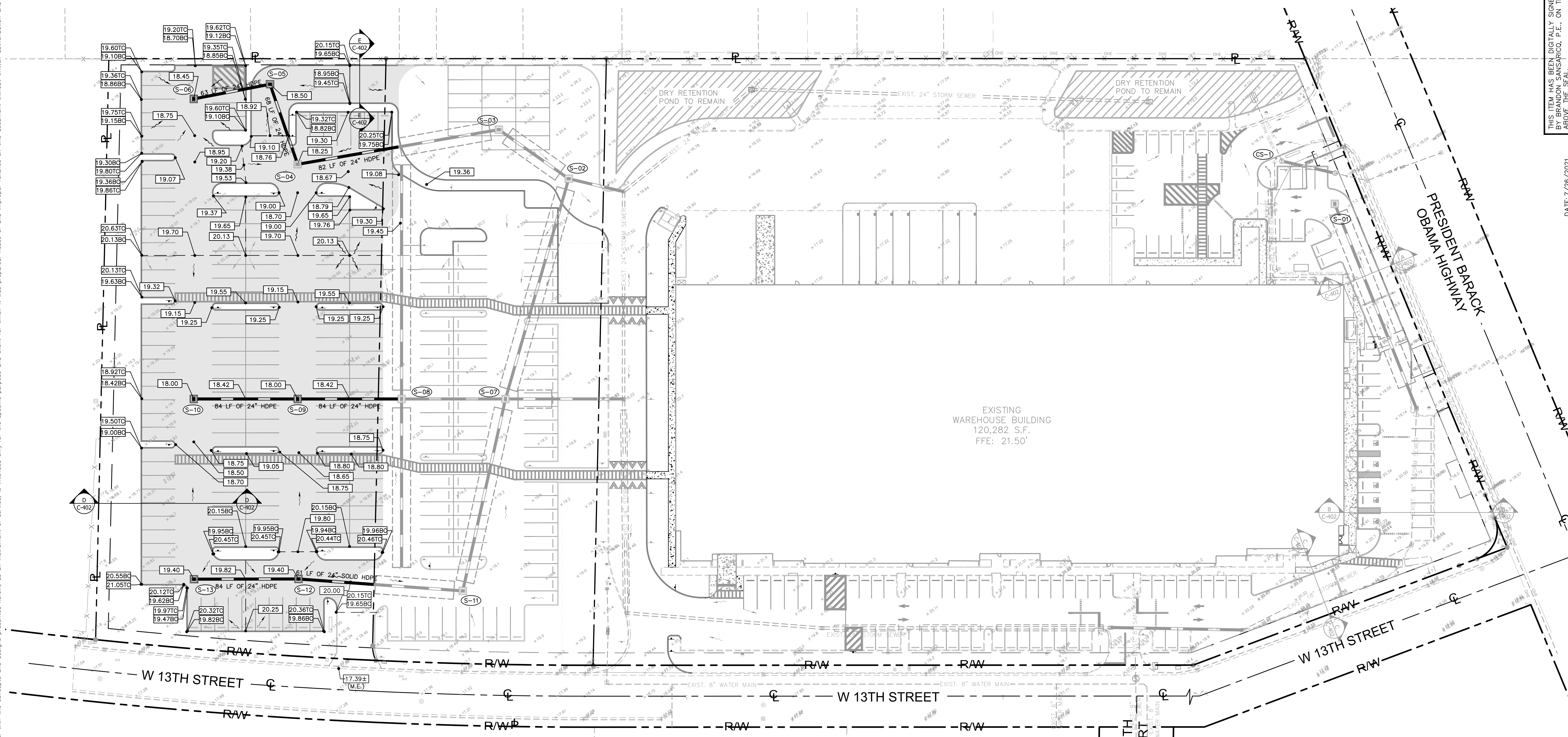
DRAINAGE STRUCTURE SCHEDULE	
STRUCTURE NAME	DETAILS
CS-1	ADJUSTED CONTROL STRUCTURE CONNECT TO EXIST. NW INV. WEIR EL. = 18.00 BLEEDER. = 13.40 RIM ELEV. = 20.00' INV. (NW) = 13.40, 18" INV. (E) = 13.40, 24"
S-01	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 19.00' INV. (S) = 14.50, 24" BAFFLE (SE)
S-02	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 19.00' INV. (S) = 12.00, 24" INV. (NW) = 12.00, 24" INV. (E) = 12.00, 24" BAFFLE (W, SW)
S-03	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 17.50' INV. (SE) = 12.00, 24" INV. (W) = 12.00, 24" BAFFLE (E)
S-04	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.25' INV. (E) = 12.00, 24" INV. (N) = 12.00, 24"
S-05	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.65' INV. (S) = 12.00, 24" INV. (W) = 12.00, 24"
S-06	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.45' INV. (E) = 12.00, 24"

DRAINAGE STRUCTURE SCHEDULE	
STRUCTURE NAME	DETAILS
S-07	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.00' INV. (E) = 12.00, 24" INV. (S) = 12.00, 24" INV. (W) = 12.00, 24" INV. (N) = 12.00, 24" BAFFLE (NE, SW)
S-08	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.00' INV. (E) = 12.00, 24" INV. (W) = 12.00, 24" INV. (N) = 12.00, 24" INV. (S) = 12.00, 24" BAFFLE (N, S)
S-09	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.00' INV. (E) = 12.00, 24" INV. (W) = 12.00, 24"
S-10	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.00' INV. (E) = 12.00, 24"
S-11	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 18.00' INV. (W) = 12.00, 24" INV. (N) = 12.00, 24" BAFFLE (NE)
S-12	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 19.40' INV. (E) = 12.00, 24" INV. (W) = 12.00, 24"
S-13	PROP. TYPE C (4.83X5.00) CATCH BASIN RIM ELEV. = 19.40' INV. (E) = 12.00, 24"

GRAPHIC SCALE IN FEET
 0 20 40 80

NORTH

STORM EVENT	PRE	DESIGN CRITERIA	POST
5YR-1DAY	14.15	PARKING LOT GRADE	16.38
25YR-3DAY	17.68	PERIMETER BERM & ALLOWABLE DISCHARGE	18.17
100YR-3DAY	18.44	FINISHED FLOOR - ZERO DISCHARGE	18.54



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 PHONE: 305-673-2025
 WWW.KIMLEY-HORN.COM CA 00000696

No.	REVISIONS	DATE	BY

DATE: 7/26/2021

KHA PROJECT 149817027
 DATE 7/26/2021
 SCALE AS SHOWN
 DESIGNED BY BS
 DRAWN BY MP
 CHECKED BY BS

Professional Engineer Seal: BRADY SANSARICO, No. 88837, State of Florida

TENANT IMPROVEMENT 1301 PRES. OBAMA HWY PREPARED FOR BAKER BARRIOS ARCHITECTS

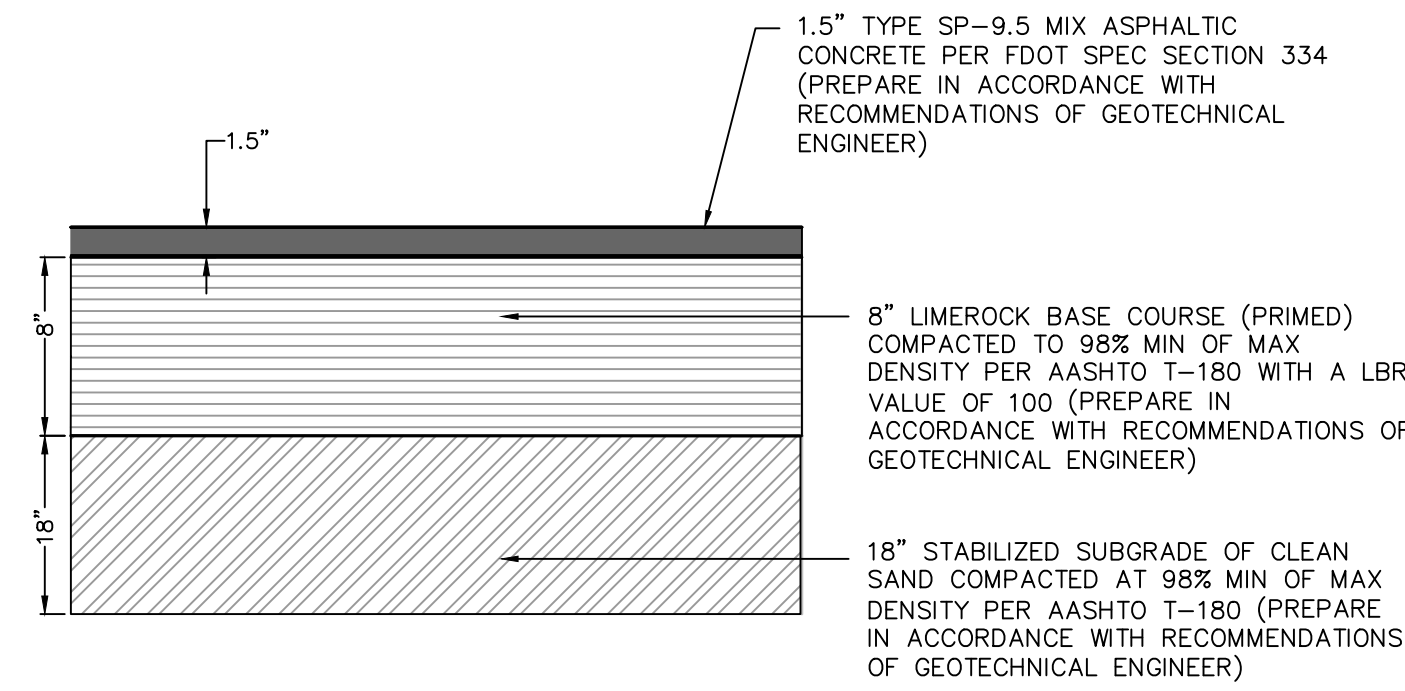
PALM BEACH COUNTY

Sunshine

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SHEET NUMBER
C-400

Plotted By: Wagner, Ryan Sheet Set: DPH6 1301 President Barack Obama Rivera Beach FL Amazon CTR Layout: C-401 PAVING GRADING AND DRAINAGE DETAILS - ZONING (SHT. 1) July 26, 2021 01:37:33pm K:\proj_civil\149817027-dph6 1301_pres obama rivera beach fl\cadd\const\plansheets\C-401 PAVING, GRADING AND DRAINAGE DETAILS.dwg
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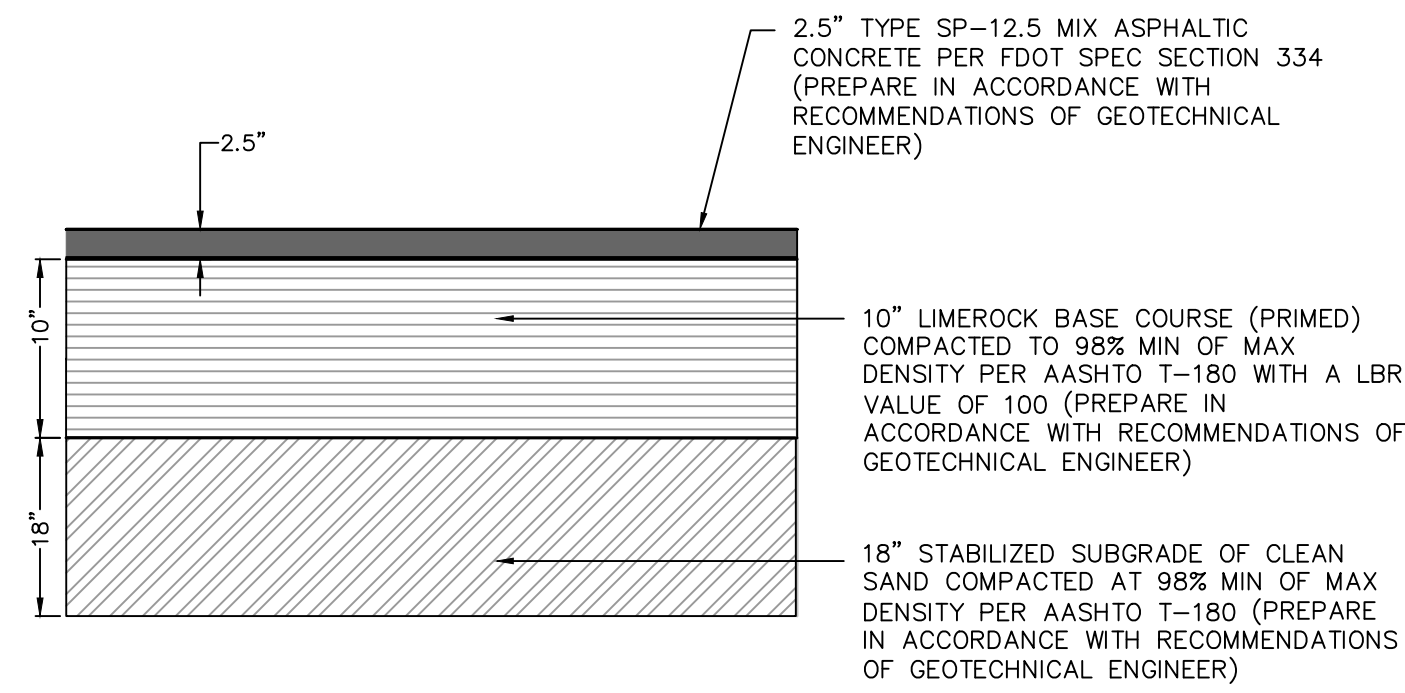


NOTES:

- 1- ALL WORK SHALL COMPLY WITH PALM BEACH COUNTY SPECIFICATIONS.
- 2- BOTTOM OF BASE COURSE AND SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE A MINIMUM OF 24".
- 3- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-180.
- 4- LIMEROCK BASE TO BE PLACED IN UNIFORM LIFTS NOT TO EXCEED 6" OF LOOSE THICKNESS.
- 5- ALL CURBING TO BE FULL DEPTH.

LIGHT-DUTY ASPHALT PAVEMENT DETAIL

N.T.S.

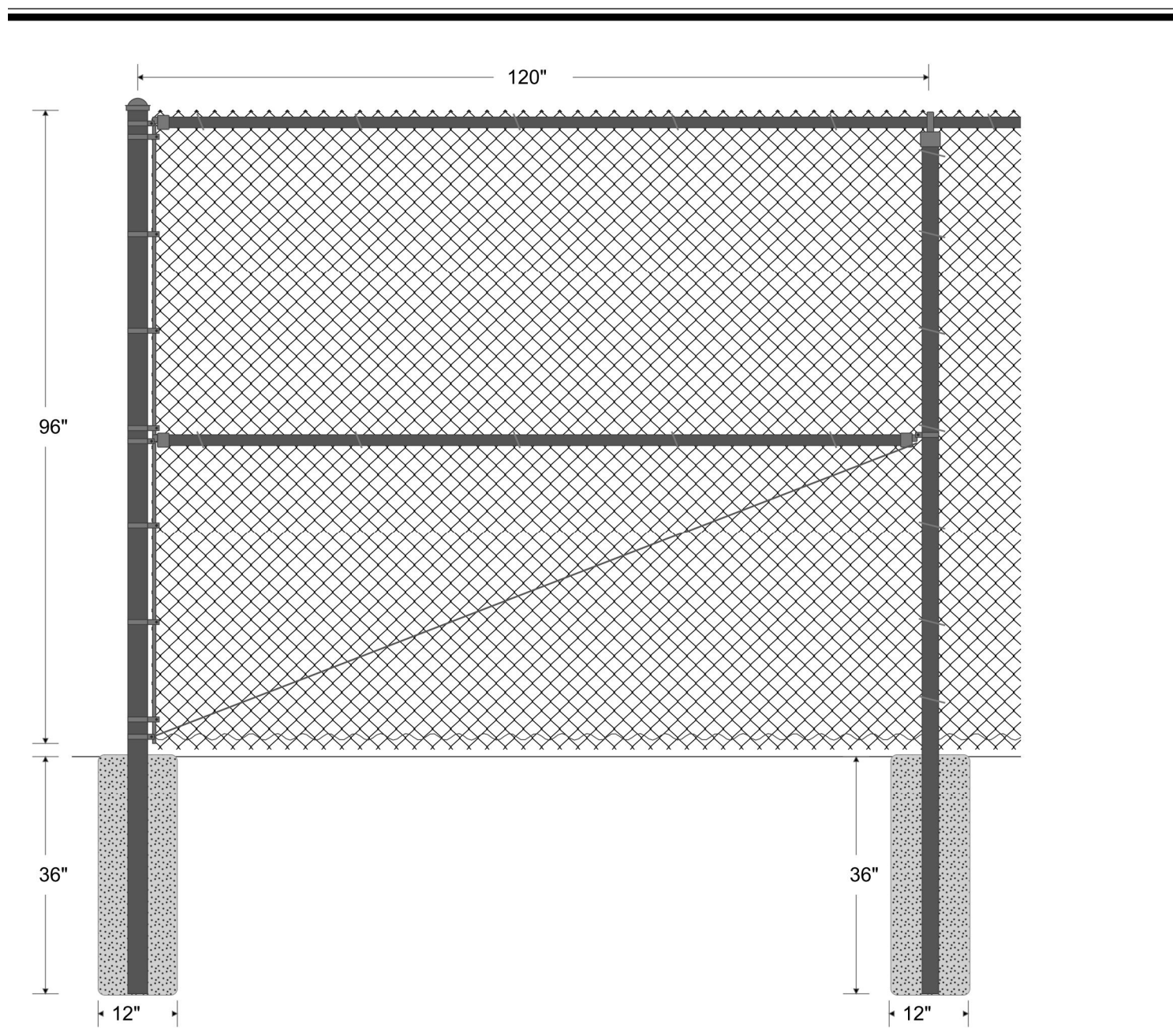


NOTES:

- 1- ALL WORK SHALL COMPLY WITH PALM BEACH COUNTY SPECIFICATIONS.
- 2- BOTTOM OF BASE COURSE AND SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE A MINIMUM OF 24".
- 3- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-180.
- 4- LIMEROCK BASE TO BE PLACED IN UNIFORM LIFTS NOT TO EXCEED 6" OF LOOSE THICKNESS.
- 5- ALL CURBING TO BE FULL DEPTH.
- 6- ASPHALT TO BE DESIGNED USING HIGH POLYMER BINDER.

HEAVY-DUTY ASPHALT PAVEMENT DETAIL

N.T.S.



SECURITY FENCE DETAIL

N.T.S.

FABRIC: 96" 8 GA FIN. EB BLACK (2" Mesh) KT VINYL CHAIN-LINK FABRIC.

TOP RAIL: 1 5/8" O.D. BLACK HMV SCH 40 IMP PIPE, 2.27 lbs. per foot. Top rail 21' in length, joined with 1 5/8" BLACK HM VINYL (6' LONG) PS SLEEVE.

LINE POST: 2 1/2" O.D. BLACK HMV SCH 40 IMP PIPE CUT POST, 3.65 lbs. per foot. Line posts set 10' on center maximum spacing. Concrete footing: 12" diameter, 36" depth.

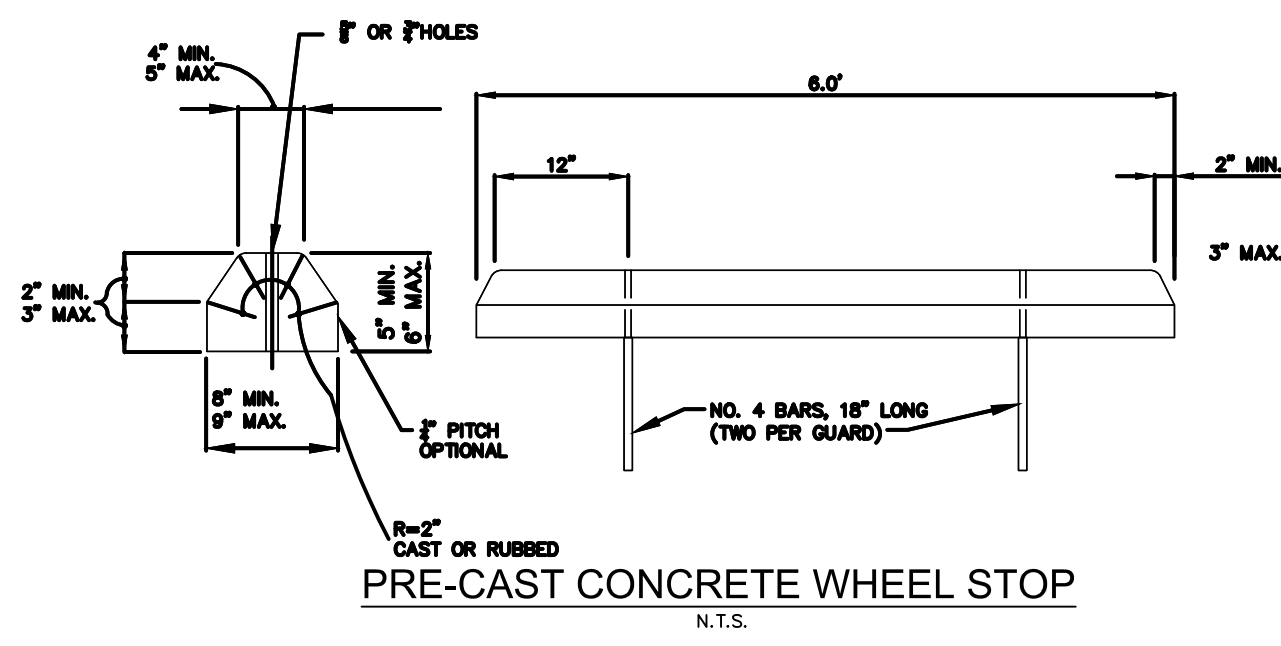
TERMINAL POST: 3" O.D. BLACK HMV SCH 40 IMP PIPE CUT POST, 5.79 lbs. per foot. Concrete footing: 12" diameter, 36" depth.

BRACING: Terminal posts braced and trussed to the nearest line post with 1 5/8" O.D. BLACK HMV SCH 40 IMP PIPE and BLACK 3/8" HM VINYL PS THREADED TRUSS ROD & BLACK HM VINYL PS TRUSS ROD TIGHTENER.

TENSION WIRE: 6 GA. BLACK EX TENSION WIRE attached to bottom of fabric with 6 GA. BLACK HM VINYL PS 1 1/8" HOG RING spaced 24" on center.

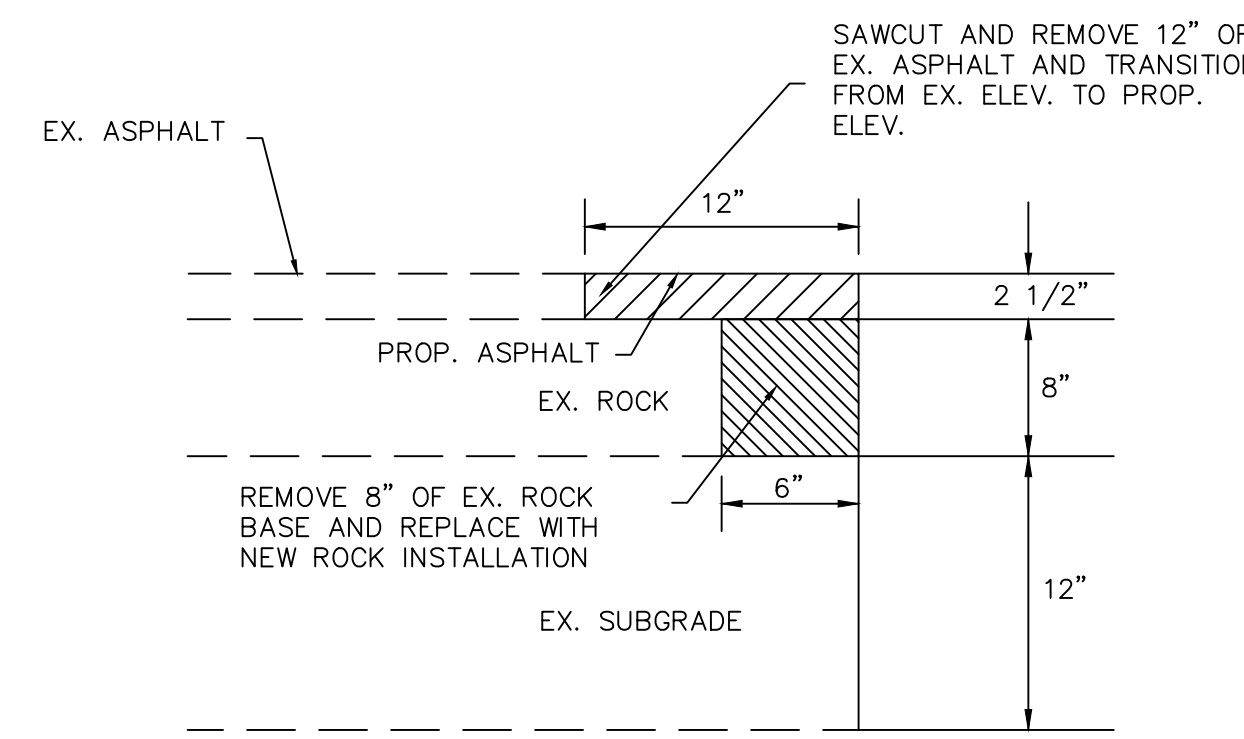
FITTINGS: BLACK HM VINYL PS PLAIN BRACE BAND & CARRIAGE BOLT WINUT, BLACK POWDER COATED PS COMBO RAIL END, BLACK POWDER COATED PS LOOP CAP, BLACK POWDER COATED PS DOME CAP, BLACK HM VINYL 3/4" PS TENSION BAR, BLACK HM VINYL PS PLAIN TENSION BAND & CARRIAGE BOLT WINUT.

TIE WIRE: 8 1/4" BLACK ALUMINUM CUTHOOK 6 GA. TIE WIRE & 6 1/2" BLACK ALUMINUM CUTHOOK 6 GA. TIE WIRE spaced 15' on center for line posts & 24' on center for rails.



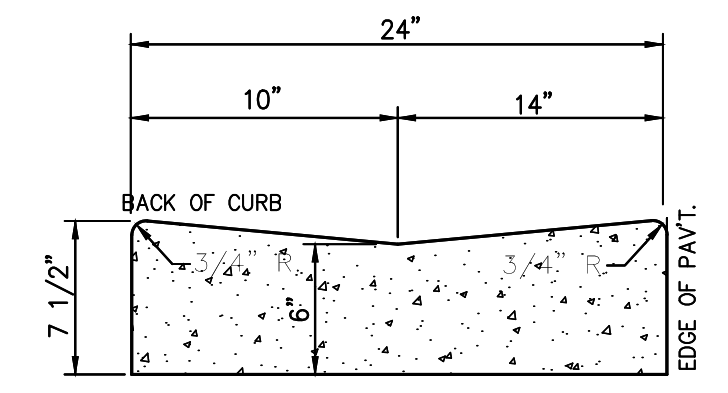
PRE-CAST CONCRETE WHEEL STOP

N.T.S.



ASPHALT CONNECTION DETAIL

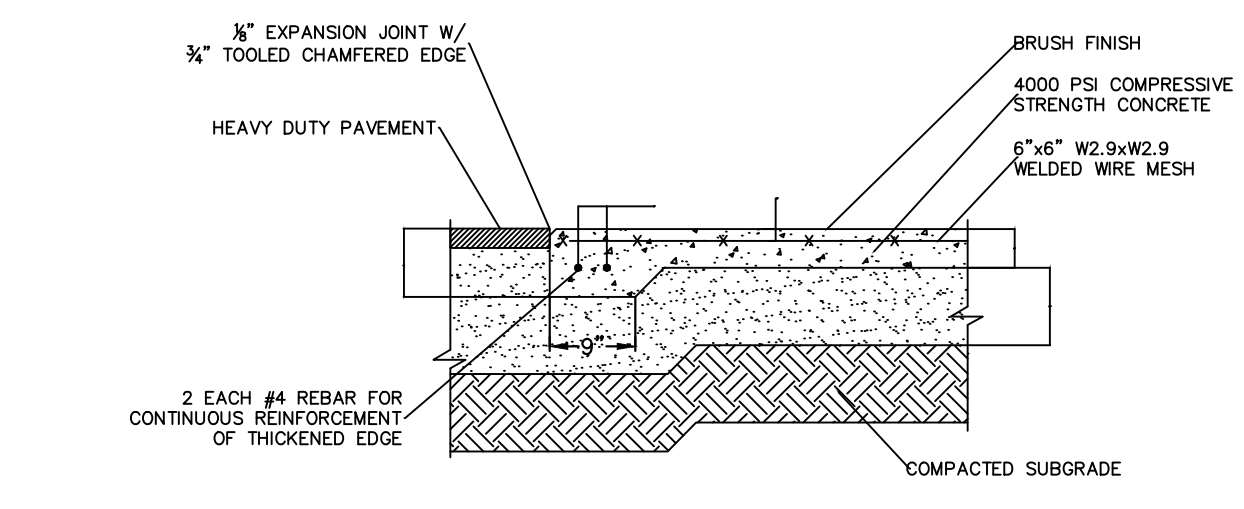
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2" VALLEY GUTTER

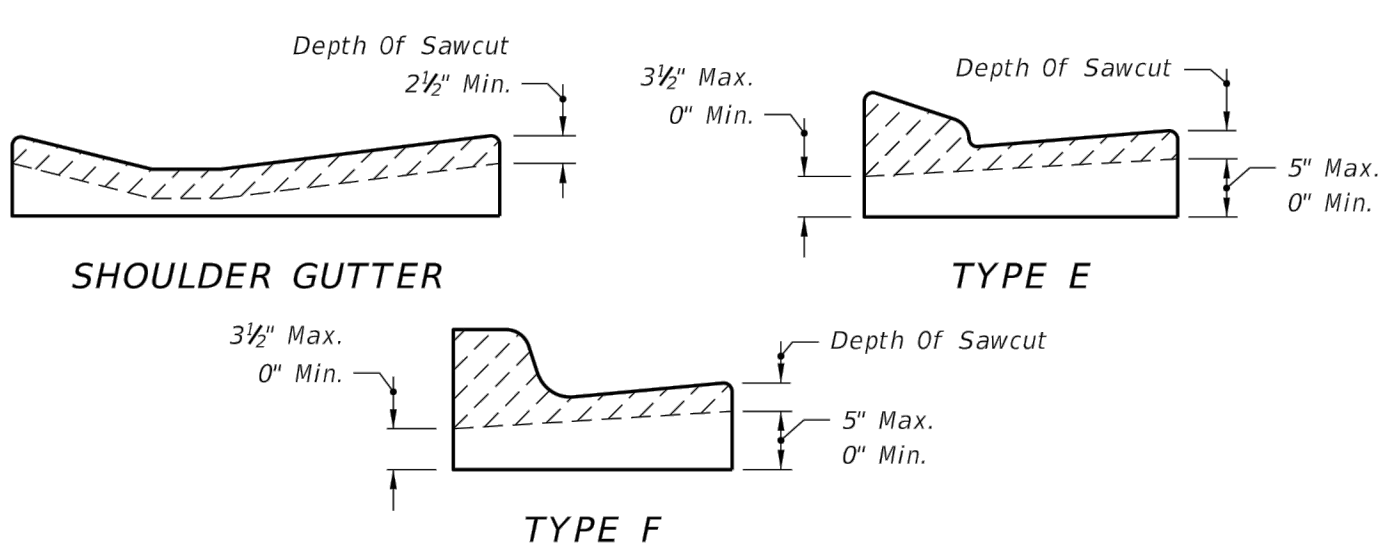
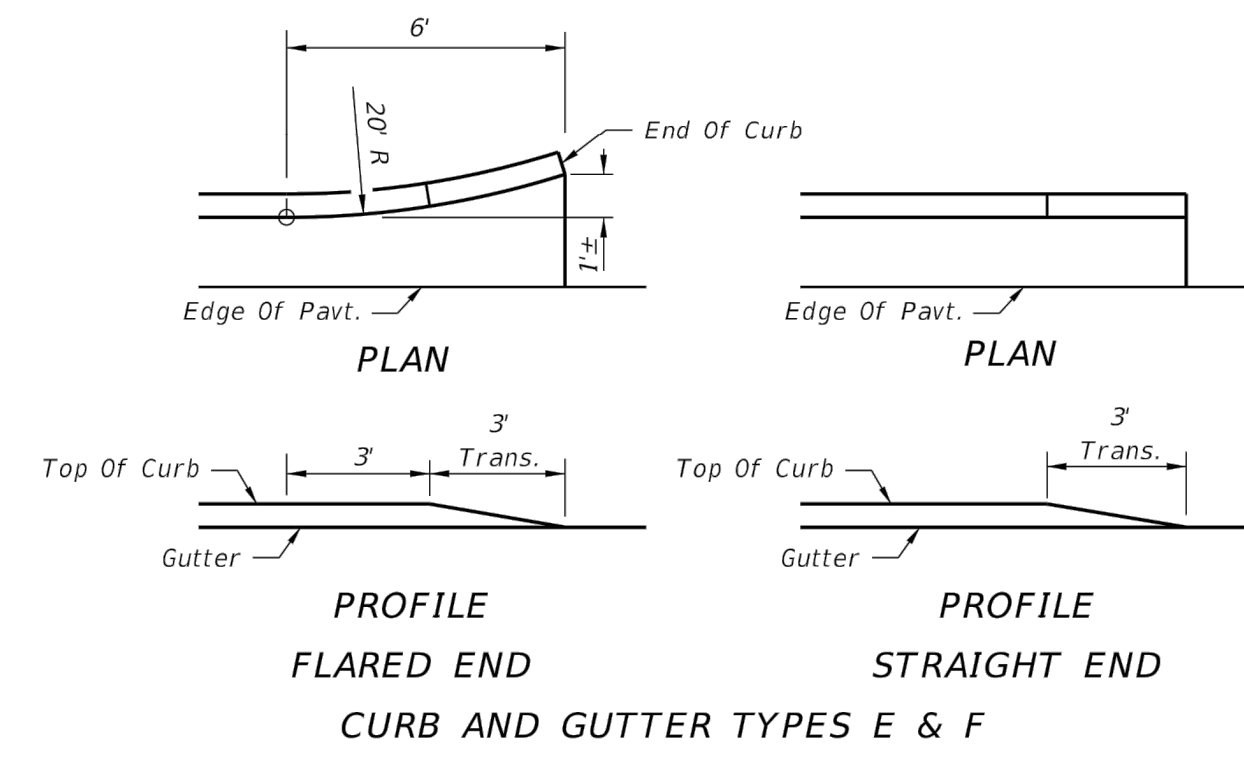
N.T.S.

NOTE: ALL CONCRETE SHALL BE 3,000 PSI AT 28 DAYS.



THICKENED CONCRETE PAVEMENT EDGE

N.T.S.



TYPE "E" CURB

N.T.S.

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KHA PROJECT 149817027
 DATE 7/26/2021
 SCALE AS SHOWN
 DESIGNED BY BS
 DRAWN BY MP
 CHECKED BY BS

PAVING GRADING AND DRAINAGE DETAILS (SHT. 1)

TENANT IMPROVEMENT 1301 PRES. OBAMA HWY PREPARED FOR BAKER BARRIOS ARCHITECTS

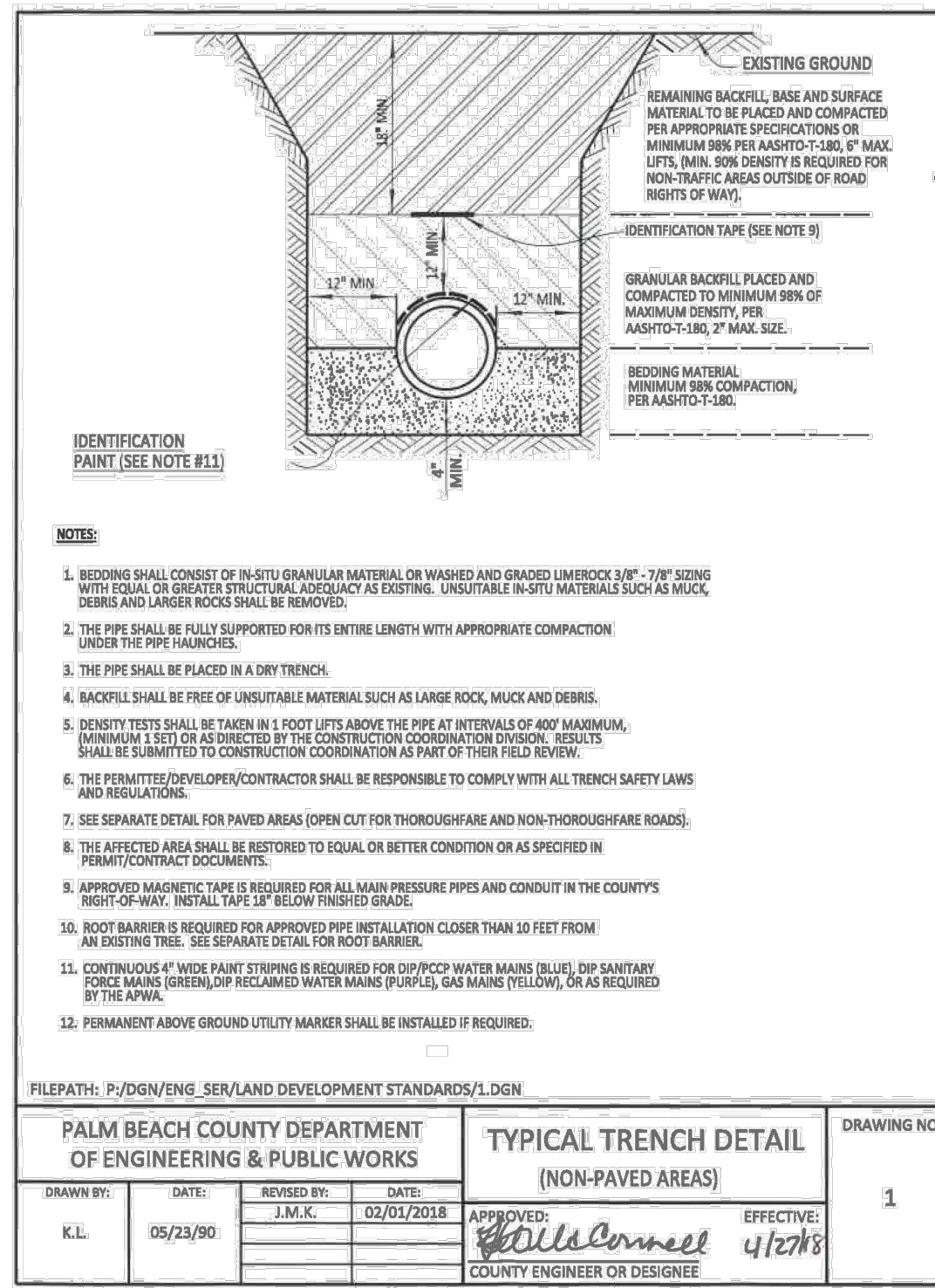
SHEET NUMBER **C-401**

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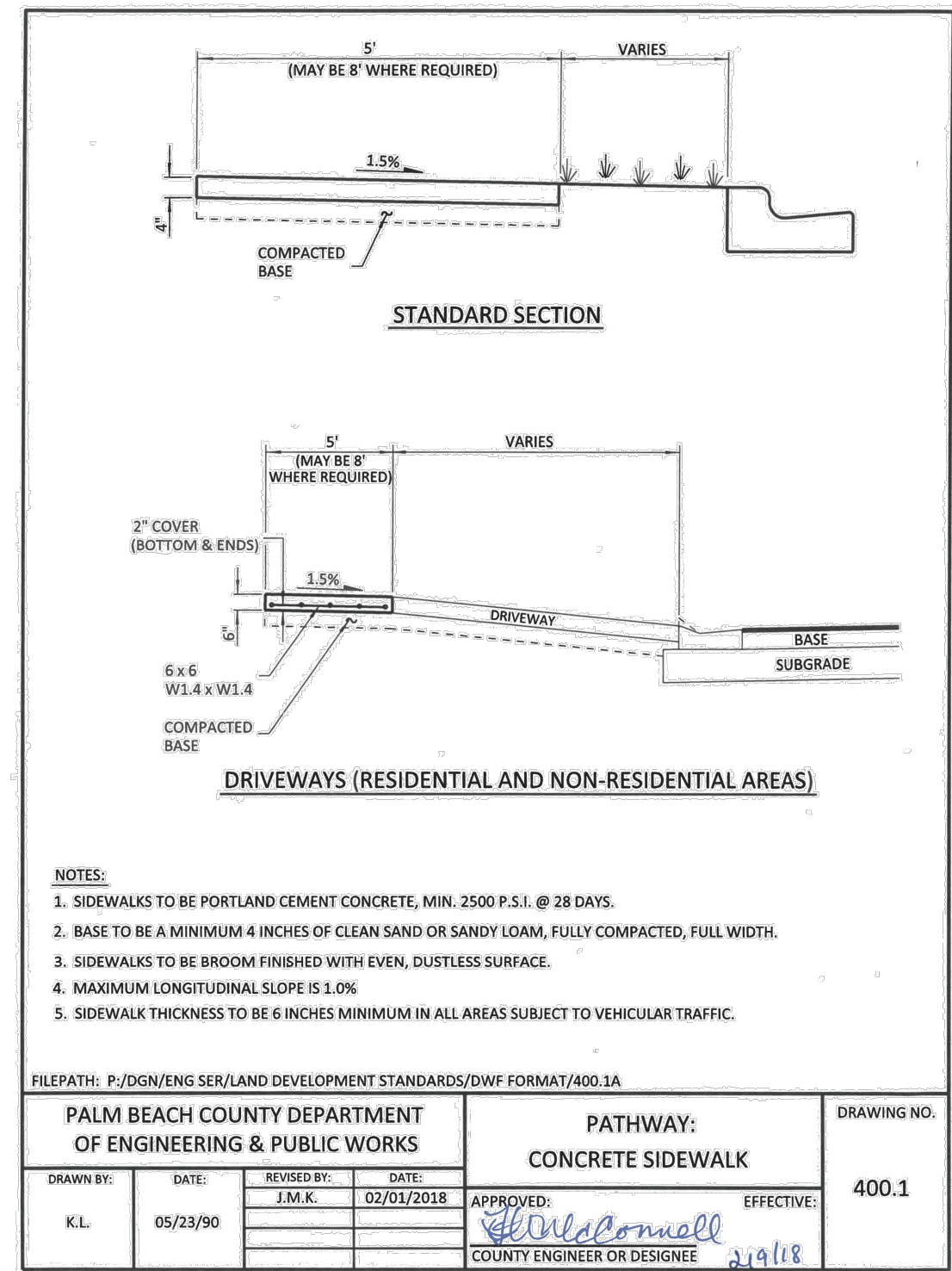
No.	REVISIONS	DATE	BY

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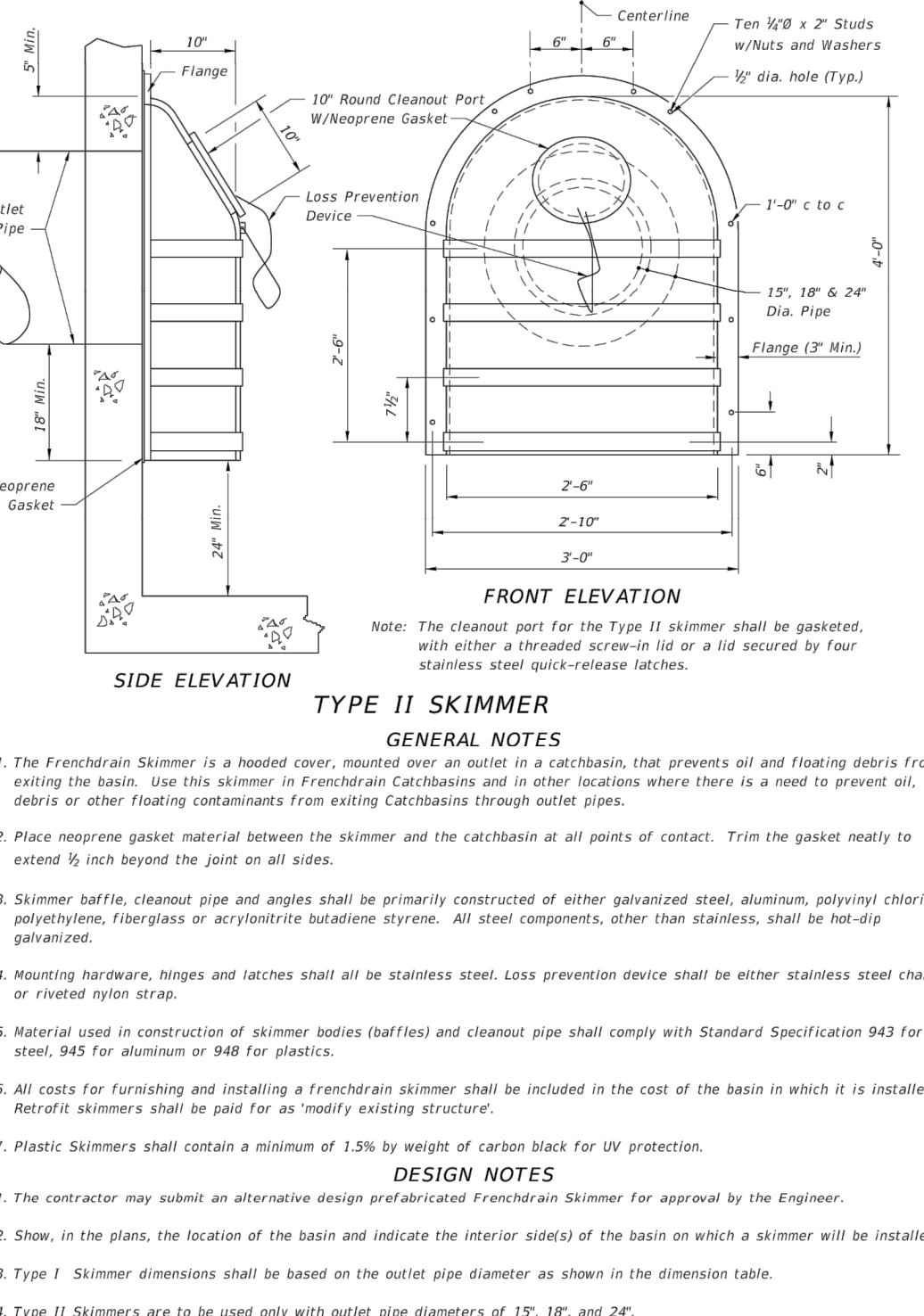
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PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS		TYPICAL TRENCH DETAIL (NON-PAVED AREAS)		DRAWING NO. 1
DATE: 05/23/20	REVISION: 1	DATE: 02/03/2018	APPROVED: <i>[Signature]</i>	EFFECTIVE: 4/17/18
DRAWN BY: K.L.		COUNTY ENGINEER OR DESIGNEE		

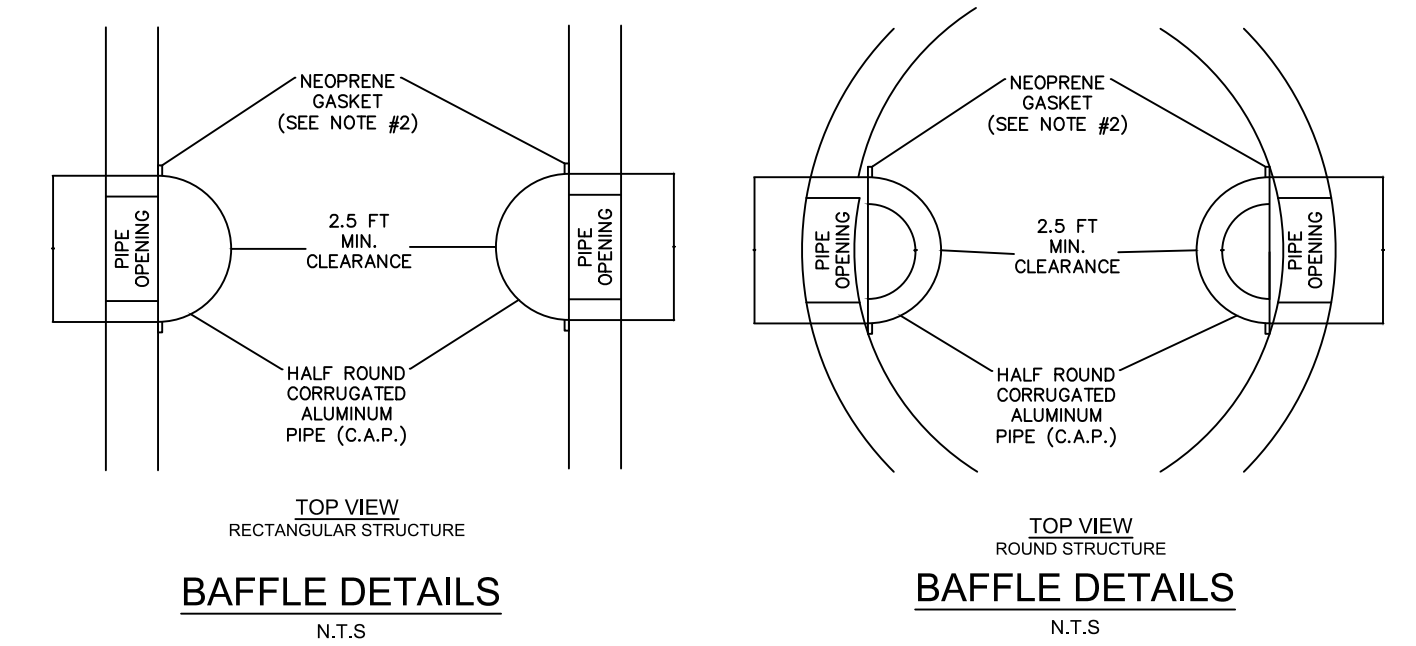


PALM BEACH COUNTY DEPARTMENT OF ENGINEERING & PUBLIC WORKS		PATHWAY: CONCRETE SIDEWALK		DRAWING NO. 400.1
DATE: 05/23/20	REVISION: 1	DATE: 02/03/2018	APPROVED: <i>[Signature]</i>	EFFECTIVE: 2/19/18
DRAWN BY: K.L.		COUNTY ENGINEER OR DESIGNEE		

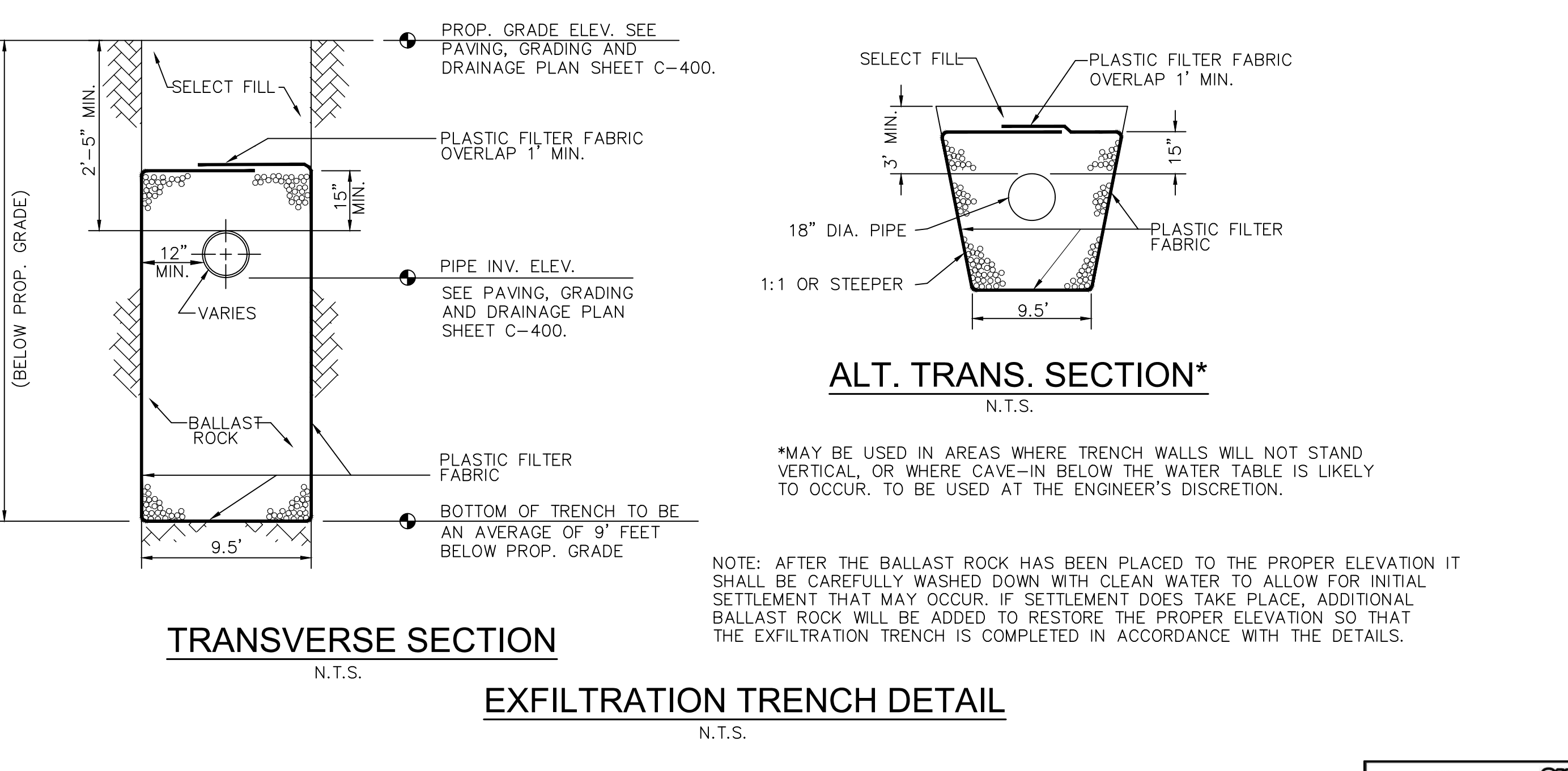
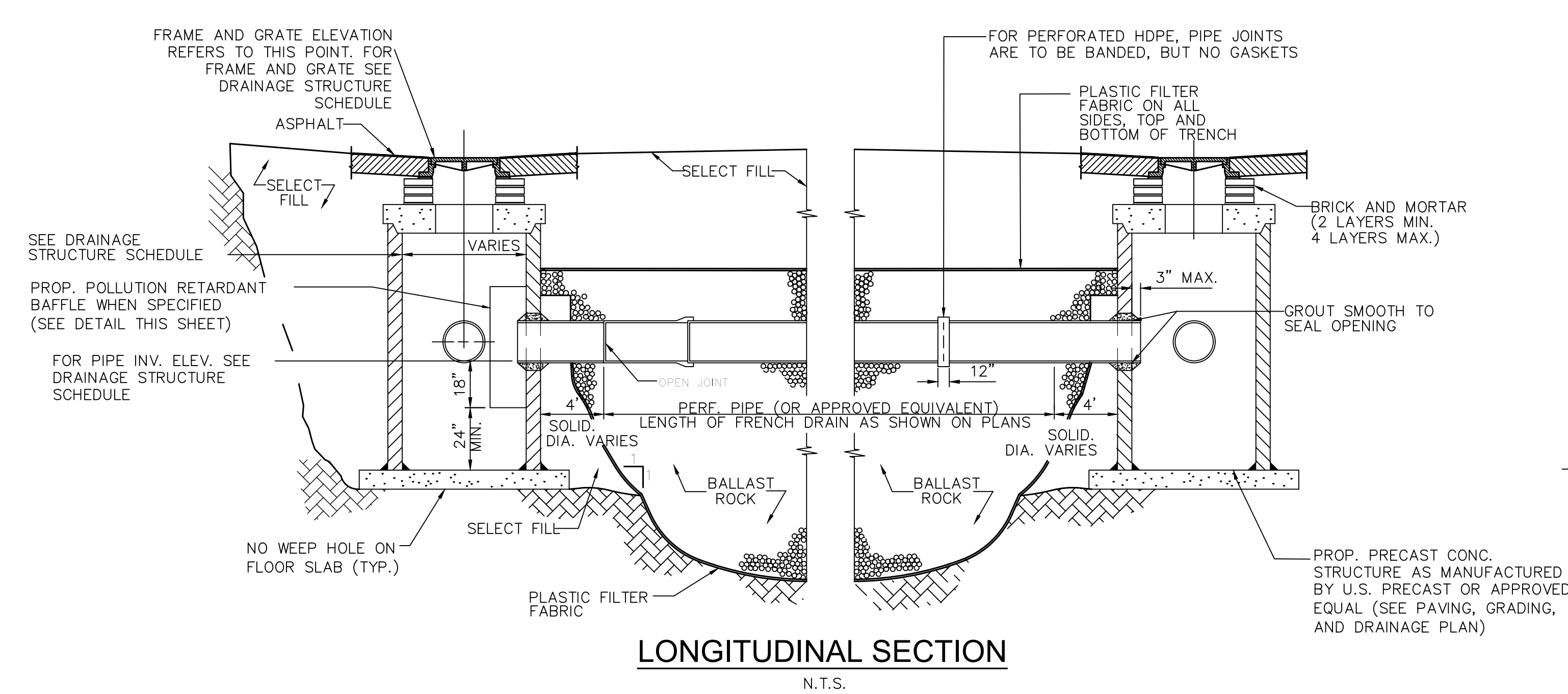
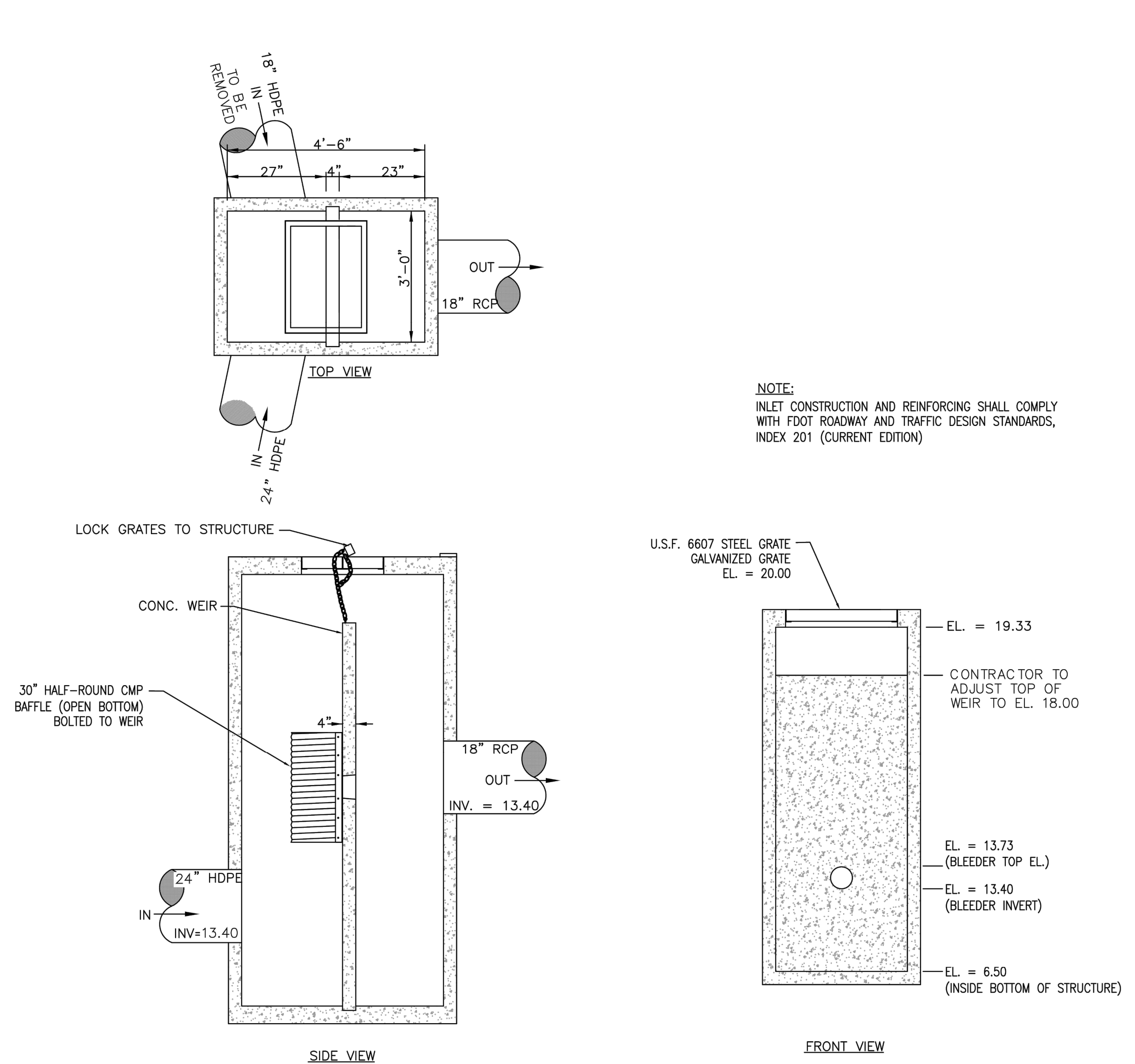


FDOT PULLUTION RETARDANT BAFFLE DETAIL INDEX 241 (TYPE II)

N.T.S.



- NOTES:**
1. ALUMINUM SHEET OF SAME THICKNESS (GAUGE) AS PIPE SHALL BE WELDED TO CLOSE OPENING AT THE TOP FOR THE BAFFLE OR BOTTOM FOR WEIR.
 2. NEOPRENE ADHESIVE BACKED GASKET, OR APPROVED EQUAL (1" x 2") SHALL BE INSTALLED ON THE SIDES AND TOP OF ALL BAFFLES OR BOTTOM OF WEIRS.
 3. POLLUTION RETARDANT BAFFLE OR HALF PIPE WEIR TO BE FASTENED IN PLACE WITH 3/4" x 4" STAINLESS STEEL "RED HEADS", OR APPROVED EQUAL.
 4. FIBERGLASS BAFFLES AND WEIRS ARE NOT PERMITTED.
 5. MOUNTING BRACKETS MAY BE ADDED TO FLAT BARS TO EASE INSTALLATION IN ROUND STRUCTURES. SPACING TO MATCH HOLES IN FLAT BARS.



ALT. TRANS. SECTION*

N.T.S.

*MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL, OR WHERE CAVE-IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

NOTE: AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.

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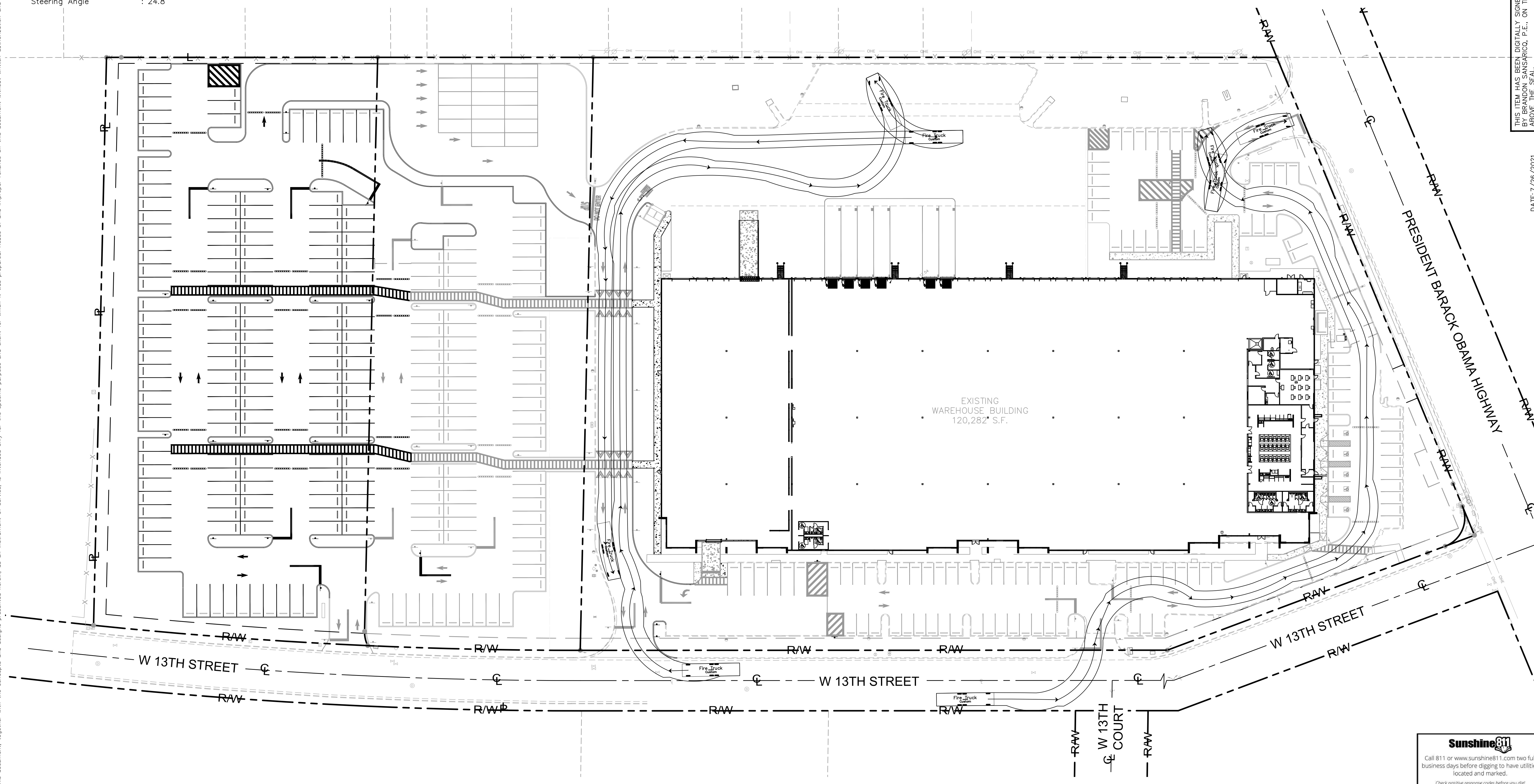
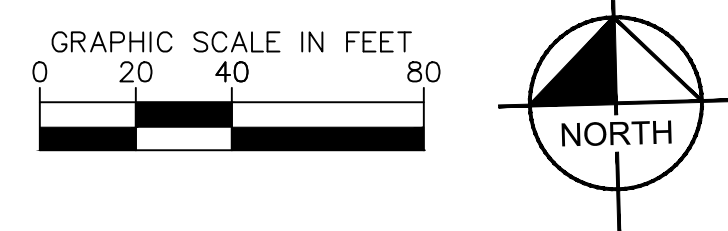
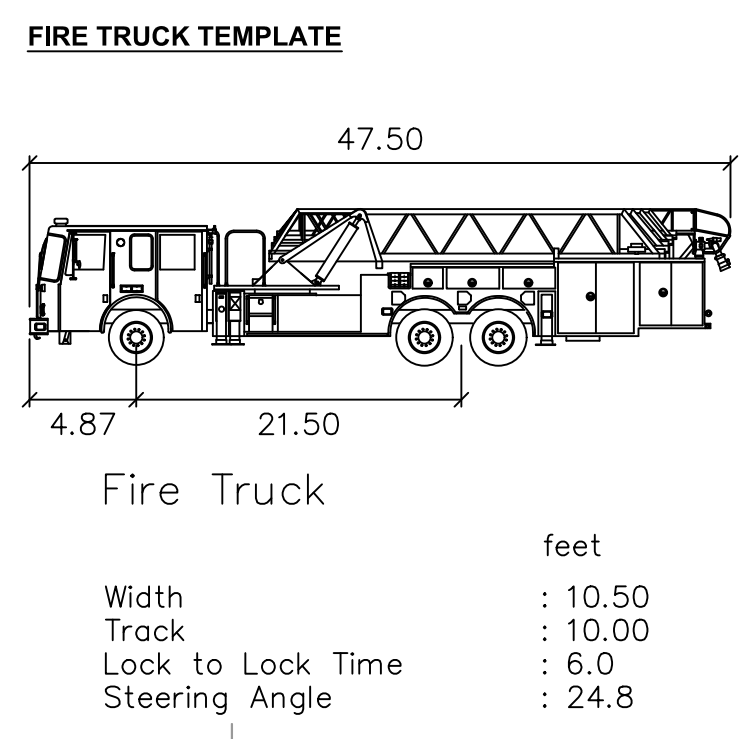
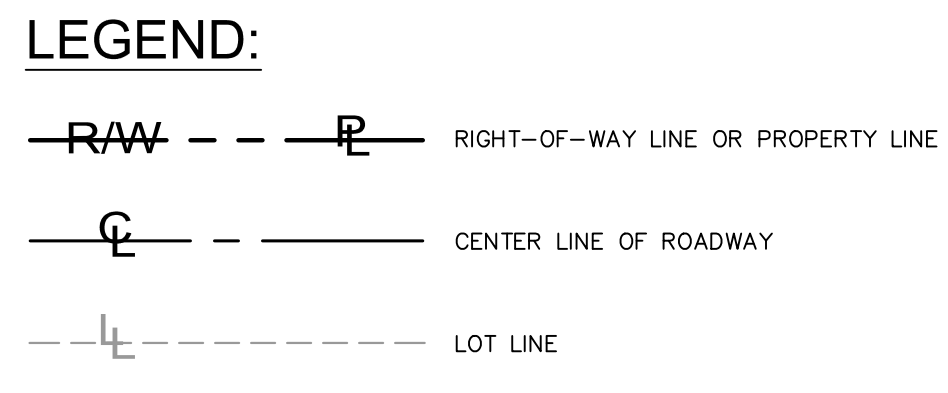
KHA PROJECT 149817027
 DATE 7/26/2021
 SCALE AS SHOWN
 DESIGNED BY BS
 DRAWN BY MP
 CHECKED BY BS
 DATE: 7/26/2021

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TENANT IMPROVEMENT 1301 PRES. OBAMA HWY PREPARED FOR BAKER BARRIOS ARCHITECTS
 PALM BEACH COUNTY

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No.	REVISIONS	DATE	BY

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DATE: 7/26/2021

BRANDON SANSARICO
LICENSE NO. 149817027
STATE OF FLORIDA
PROFESSIONAL ENGINEER

KHA PROJECT	149817027
DATE	7/26/2021
SCALE	AS SHOWN
DESIGNED BY	BS
DRAWN BY	MP
CHECKED BY	BS

TENANT IMPROVEMENT
1301 PRES. OBAMA HWY
PREPARED FOR
BAKER BARRIOS ARCHITECTS
PALM BEACH COUNTY FL

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