PROJECT TEAM:

OWNER/DEVELOPER:

JOHNSON DEVELOPMENT ASSOCIATES 100 DUNBAR STREET, SUITE 400 SPARTANBURG, SC 29306 (864) 585-2000 CONTACT: JAMES HOUSTON

SURVEYOR: LONGITUDE SURVEYORS 7769 NW 48TH STREET SUITE 375

DORAL, FLORIDA 33166

(305) 463-0912

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC
355 ALHAMBRA CIRCLE, SUITE 1400
CORAL GABLES, FL 33134
305-673-2025
CONTACT: BRANDON SANSARICQ, P.E

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC
355 ALHAMBRA CIRCLE, SUITE 1400
CORAL GABLES, FL 33134
305-673-2025

CONTACT: MATTHEW WISNIEWSKI, L.A

LIST OF CONTACTS:

STORMWATER

CITY OF RIVIERA BEACH
PUBLIC WORKS DEPARTMENT
1481 W 15TH STREET
RIVIERA BEACH, FL 33404
(561) 845-4080
CONTACT: TERRENCE N. BAILEY, P.E.

UTILITIES

CITY OF RIVIERA BEACH UTILITY SPECIAL DISTRICT 600 WEST BLUE HERON BLVD. RIVIERA BEACH, FL 33404 (561) 845-4185

CABLE PROVIDER

COMCAST CABLE
3960 RCA BLVD., SUITE 6002
PALM BEACH GARDENS, FL 33410
(561) 804-0973
CONTACT: TONY SPRINGSTEEL

PUBLIC WORKS

CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT 1481 W 15TH STREET RIVIERA BEACH, FL 33404 (561) 845-4080

BUILDING AND ZONING

CITY OF RIVIERA BEACH
DEVELOPMENT SERVICES DEPARTMENT
600 WEST BLUE HERON BLVD.
RIVIERA BEACH, FL 33404
(561) 845-4185

ELECTRIC PROVIDER

303 HASTINGS ROAD ST. AUGUSTINE, FL 32084 (386) 586-6403 CONTACT: JOEL BRAY

LEGAL DESCRIPTION

LESS, TO THE POINT OF BEGINNING.

PARCEL 1 AND PARCEL 2, PLAT OF THIRTEENTH STREET INDUSTRIAL, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 102, PAGE(S) 23-24, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

OGETHER WITH:

A TRACT OF LAND LYING IN THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, TOWNSHIP 42, SOUTH, RANGE 43 EAST, PALM BEACH COUNTY FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT IN THE NORTH LINE OF THE SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 305.95 FEET WEST OF THE NORTHEAST CORNER, WHICH POINT ALSO MARKS THE CENTERLINE OF OLD DIXIE HIGHWAY, THENCE CONTINUING WESTERLY ALONG THE NORTH LINE OF SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 635 FEET; THENCE SOUTHERLY MAKING AN ANGLE OF 91°15'20", MEASURED EAST TO SOUTH FROM THE LAST COURSE, A DISTANCE OF 490 FEET; THENCE EASTERLY AND PARALLEL TO THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 33, A DISTANCE OF 485.00 FEET; THENCE NORTHEASTERLY MAKING AN ANGLE OF 159°30'00" MEASURED FROM THE WEST TO NORTH FROM THE LAST COURSE, A DISTANCE OF 336 FEET MORE OR LESS TO THE CENTERLINE OF OLD DIXIE HIGHWAY, THENCE NORTHWESTERLY ALONG SAID CENTERLINE A DISTANCE OF 397 FEET, MORE OR

SUBJECT TO THE RIGHT OF WAY FOR OLD DIXIE HIGHWAY, AS SHOWN ON ROAD PLAT BOOK 3, PAGES 190 THROUGH 199, INCLUSIVE, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL 2

10.00' NON-ECLUSIVE EASEMENT FOR THE MAINTENANCE OF SEWER LINES PURSUANT TO EASEMENT AGREEMENT BETWEEN RAO ELECTRIC CO. INC. AND ANTHONY F. D'ANNA, RECORDED IN OFFICIAL RECORD BOOK 3548, PAGE 1419 GRANTING PARCEL 1 AND EASEMENT ONTO THE WEST 10 FEET OF LOT 5, BLOCK U OF THE RE-PLAT OF PLAT 1 LEWIS TERMINALS, SAID RE-PLAT BEING RECORDED IN PLAT BOOK 27, PAGES 39-41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

BEING THE SAME PROPERTY AS DESCRIBED AS FOLLOWS:

A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 42 SOUTH, RANGE 43 EAST, PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33; THENCE ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 305.95 FEET TO THE INTERSECTION WITH THE ORIGINAL CENTERLINE OF A 30 FOOT RIGHT OF WAY FORMERLY KNOWN AS OLD DIXIE HIGHWAY; THENCE CONTINUE ALONG SAID NORTH LINE OF SAID SOUTTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33, NORTH 88°30'27" WEST, A DISTANCE OF 70.34 TO A POINTON THE EXISTING WESTERLY RIGHT OF WAY LINE OF PRESIDENT BARACK OBAMA HIGHWAY (FORMERLY KNOWN AS OLD DIXIE HIGHWAY) AS SHOWN ON ROAD PLAT BOOK 3, PAGES 190 THROUGH 199, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, SOUTH 20°58'19" EAST, A DISTANCE OF 427.45 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, AS DEPICTED ON THE PLAT OF FUTURA INDUSTRIAL SUBDIVISION, AS SHOWN ON PLAT BOOK 31. PAGE 175. PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTHERLY RIGHT OF WAY LINE, SOUTH 70°59'33 WEST, A DISTANCE OF 270.89 FEET; THENCE CONTINUE ALONG SAID NORTHERLY RIGHT OF WAY LINE OF WEST 13TH STREET, NORTH 88°30'27 WEST, A DISTANCE OF 485.00 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE, NORTH 02°44'53" EAST, A DISTANCE OF 490.00 FEET TO A POINT ON THE AFOREMENTIONED NORTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 33 AND TO A POINT ON THE SOUTH LINE OF THE REPLAT OF PLAT NO. 1 LEWIS TERMINALS, AS SHOWN ON PLAT BOOK 27, PAGES 39 THROUGH 41, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA; THENCE ALONG SAID NORTH LINE SOUTH 88°30'27 EAST, A DISTANCE OF 564.66 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH EASEMENT BETWEEN RAO ELECTRIC CO. INC. AND ANTHONY F. D'ANNA, RECORDED IN OFFICIAL RECORD BOOK 3548, PAGE 1419 GRANTING SUBJECT PROPERTY A 10.00" NON EXCLUSIVE EASEMENT FOR THE MAINTENANCE OF SEWER LINES ONTO THE WEST 10 FEET OF LOT 5, BLOCK U OF THE RE-PLAT OF PLAT 1 LEWIS TERMINAL T CORDED IN PLAT BOOK 27, PAGES 39-41, PUBLIC RECORDS OF PALM BEACH COUNT

PERMIT PLANS

FOR PARCEL THREE OF

TENANT IMPROVEMENT 1301 PRES. OBAMA HWY

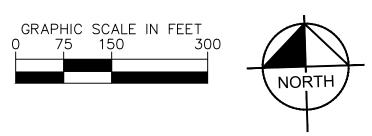
1301 PRESIDENT BARACK OBAMA HIGHWAY RIVIERA BEACH, FL 33404

26 July 2021

SECTION 33, TOWNSHIP 42, RANGE 43



LOCATION MAP







Sheet List Table	
Sheet Number	Sheet Title
C-100	COVER SHEET
C-101	GENERAL NOTES
C-102	SITE PLAN
C-103	OVERALL SITE PLAN
C-200	DEMOLITION NOTES
C-201	DEMOLITION PLAN
C-300	EROSION CONTROL NOTES
C-301	EROSION AND SEDIMENT CONTROL PLAN
C-302	EROSION CONTROL DETAILS
C-400	PAVING GRADING AND DRAINAGE PLAN
C-401	PAVING GRADING AND DRAINAGE DETAILS (SHT. 1)
C-401	PAVING GRADING AND DRAINAGE DETAILS (SHT. 2)
C-402	TYPICAL SECTIONS
C-600	TRAFFIC SIGNAGE AND MARKING PLAN
C-700	FIRE APPARATUS PLAN
L-200	TREE DISPOSITON PLAN (PARCELS 1 2 & 3)
L-250	TREE DISPOSITION NOTES AND DETAILS
L-300	LANDSCAPE PLAN (PARCELS 1 2 & 3)
L-350	LANDSCAPE DETAILS
L-351	LANDSCAPE SPECIFICATIONS
L-400	IRRIGATION PLAN (PARCELS 1 2 & 3)
L-450	IRRIGATION DETAILS
L-451	IRRIGATION SPECIFICATIONS
L-452	IRRIGATION SPECIFICATIONS
.A1.10	OVERALL FLOOR PLAN
.A2.10	BUILDING ELEVATIONS
.A2.11	BUILDING ELEVATIONS
.A2.12	BUILDING ELEVATIONS
.A2.13	ENLARGED BUILDING ELEVATIONS
E0.10	OVERALL LIGHTING PLAN — SITE
E0.11	ENLARGED SITE LIGHTING PLAN — WEST PARKING LOT

CONDITIONS OF APPROVAL

- NO PARKING IS ALLOWED IN THE RIGHT OF WAY
- 2. IF DURING PEAK PERIODS THIS PROJECT UTILIZES ADDITIONAL DRIVERS IN PRIVATE VEHICLES TO SUPPLEMENT THE FLEET, THOSE VEHICLES ARE REQUIRED TO BE MARKED WITH A PLACARD OR MAGNET WHICH CLEARLY SHOWS THAT IT IS FUNCTIONING AS A
- COMMERCIAL VEHICLE.
 3. NPDES PERMIT IS REQUIRED

INTED COPIES OF THIS DOCUMENT ARE NOT ANSIDERED SIGNED AND SEALED AND THE SNATURE MUST BE VERIFIED ON ANY ELECTRONIC PIES.

BEEN DIGHTALLY SIGNED AND SEALED SANSARICQ, P.E., ON THE DATE AL.

S55 ALHAMBRA CIRCLE, SUITE 1400,

WNN HE STATE OF THE STATE OF TH

DATE
7/26/2021

SCALE AS SHOWN
DESIGNED BY BS

OVER SHEET

1 PRES. OBAMA HWY
PREPARED FOR

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

SHEET NUMBER
C-100

1. ALL MATERIALS AND CONSTRUCTION UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, THE FLORIDA BUILDING CODE, FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS AND SPECIFICATIONS, SOUTH FLORIDA WATER MANAGEMENT DISTRICT, AND ALL OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS.

II. AS MENTIONED THROUGHOUT THESE DRAWINGS: 1. ENGINEER OF RECORD SHALL MEAN KIMLEY-HORN AND ASSOCIATES, INC.

2. OWNER'S REPRESENTATIVE SHALL MEAN AN AUTHORIZED REPRESENTATIVE OF BAKER BARRIOS

2. LOCATIONS, SIZE AND MATERIAL OF EXISTING UTILITIES HAVE BEEN DETERMINED FROM AVAILABLE RECORDS. NEITHER THE DEVELOPER, CLIENT, OWNER NOR THE ENGINEER OF RECORD GUARANTEES THE ACCURACY OF THIS DATA. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HORIZONTALLY AND VERTICALLY LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL PHYSICALLY FIELD VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BEAR ALL COSTS FOR

3. ALL EXISTING UNDERGROUND OR ABOVEGROUND UTILITY PIPES, CABLES, DUCTS, EQUIPMENT, DEVICES, ETC. WITHIN OR OUTSIDE THE PROJECT CONSTRUCTION LIMITS WHICH ARE DAMAGED OR DISRUPTED AS A RESULT OF THE CONTRACTOR'S OPERATION, SHALL BE IMMEDIATELY REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. REGARDLESS OF WHETHER THEY WERE SHOWN OR NOT SHOWN ON THE PLANS OR LOCATED OR NOT BY THE OWNER'S REPRESENTATIVE, THE UTILITY COMPANY, SUNSHINE STATE ONE-CALL OF FLORIDA, ETC.

4. ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD PRIOR TO COMMENCING ANY CONSTRUCTION WORK.

5. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER OF RECORD.

6. ALL DEFECTIVE WORK NOT ACCEPTED BY THE ENGINEER OF RECORD, BY THE OWNER'S REPRESENTATIVE, OR BY ANY GOVERNMENTAL PERMITTING REGULATORY AGENCY SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

7. ALL STAGING AREAS SHALL BE PROPERLY FENCED AND SECURED BY THE CONTRACTOR.

8. ALL AREAS WHICH ARE BEING EXCAVATED SHALL BE PROPERLY PROTECTED AND BARRICADED BY THE CONTRACTOR, ALL TRENCH WORK SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION EXCAVATION SAFETY STANDARDS, 29 C.F.R.S. 1926.650 SUBPART P AND THE FLORIDA

9. ALL EXISTING CONCRETE AND/OR ASPHALT PAVEMENT, CURB AND GUTTERS, CURBS AND WALKS, SOD, LANDSCAPING, FENCE, ETC. DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITIONS, AT NO ADDITIONAL COST TO THE OWNER OR CLIENT.

10. TEMPORARY ASPHALT PAVEMENT SHALL BE APPLIED TO ALL TRENCHES, WITHIN AN EXISTING PAVED RIGHT OF WAY, AT THE END OF EACH WORKDAY. PLATING MAY BE USED WITH THE RIGHT-OF-WAY OWNER'S PRIOR CONSENT.

11. PROVIDE FILL TO ENSURE THAT THE FINISH GRADE (INCLUDING SOD) IN LANDSCAPE AREAS ARE AT LEVEL OF CURBS AND/OR EDGE OF SIDEWALKS.

12. WHERE NEW GRADES BLEND INTO EXISTING GRADES IN LANDSCAPE AREAS PROVIDE A UNIFORM TRANSITION. PROTECT ALL EXISTING PAVEMENT AND LANDSCAPE AREAS THAT ARE TO REMAIN.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING UNINTERRUPTED WATER AND SEWER SERVICE DURING THE CONSTRUCTION OF THE TIE-IN CONNECTION OF ALL PROPOSED WATER OR SANITARY SEWER SYSTEMS, TO ANY EXISTING WATER OR SANITARY MAINS AND SERVICE LINES. ABANDONMENT SHALL NOT OCCUR UNTIL THE PROPOSED WORK HAS BEEN APPROVED AND ACCEPTED FOR OPERATION BY THE ENGINEER OF RECORD AND PALM BEACH COUNTY WATER UTILITIES DEPARTMENT. ALL EXISTING FIRE HYDRANTS SHALL BE RECONNECTED TO THE PROPOSED WATER MAIN. PALM BEACH COUNTY WATER UTILITIES DEPARTMENT FIELD OPERATIONS SECTION WILL COORDINATE IN THE FIELD WITH THE WATER DISTRIBUTION DIVISION TO DETERMINE IF AN EXISTING FIRE HYDRANT SHALL BE REPLACED AS NEEDED OR REQUIRED.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE PUBLIC HEALTH AND ENSURE JOB SAFETY. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY & HEALTH AGENCY (OSHA) STANDARDS AND FEDERAL, STATE AND LOCAL GOVERNMENT SAFETY REQUIREMENTS.

15. THE CONTRACTOR SHALL ENSURE THAT OVERFLOWS OR RAW SEWAGE SPILLS DO NOT OCCUR DURING CONSTRUCTION OF PROPOSED SANITARY SEWER TIE-IN CONNECTIONS.

16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT STORM WATER POLLUTION PREVENTION AND EROSION CONTROL MEASURES AND PRACTICES DURING CONSTRUCTION IN ACCORDANCE WITH THE EROSION CONTROL PLAN/DETAILS AND THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (N.P.D.E.S.) PERMIT FOR CONSTRUCTION ACTIVITIES REQUIREMENTS.

17. CONTRACTOR SHALL ENSURE THAT ALL STORM WATER RUN-OFF WITHIN THE CONSTRUCTION AREA IS CONTAINED ON-SITE.

18. WHEN POWER POLES ARE ADJACENT TO ANY PROPOSED UTILITY, THE CONTRACTOR SHALL PROVIDE PROPER SHORING OR OTHER SUITABLE SUPPORT DURING CONSTRUCTION. THE SHORING AND SUPPORT METHODS SHALL BE APPROVED BY THE UTILITY COMPANY'S ENGINEERING DEPARTMENT.

19. DUE TO FEDERAL REGULATIONS, THE CONTRACTOR MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES AND MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE WITHIN THE PROJECT

20. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER EXISTING SITE IMPROVEMENTS, FEATURES AND CONDITIONS SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE FOLLOWING TOPOGRAPHIC BOUNDARY SURVEY SPECIFICALLY PREPARED FOR THIS PROJECT:

TITLE: "ALTA/NSPS LAND TITLE SURVEY" DATE: 03/12/2021 EDUARDO M. SUAREZ, PSM

PHONE (305) 463-0912

LONGITUDE SURVEYORS 7769 NW 48TH STREET SUITE 375 DORAL, FL 33166

21. ALL ELEVATIONS SHOWN ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29). ÈLEVATION CONVERSION FACTOR FOR THE SITE: NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) = NAVD88 + 1.55

22. ALL UTILITY CONNECTIONS TO THE BLDG. SHALL BE CONSTRUCTED AND CAPPED OR PLUGGED FIVE FEET FROM THE PROPOSED BUILDING. CONTRACTOR SHALL PERFORM TIE-INS TO THE BUILDING. THE COST ASSOCIATED WITH THE CAPPING/PLUGGING OF THE UTILITIES SHALL BE INCLUDED IN THE CONTRACTOR'S BID PRICE.

23. CONTRACTOR SHALL COORDINATE WORK WITH OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECTS.

24. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT AND TAKE SPECIAL NOTE OF THE EXISTING SOIL CONDITIONS THROUGHOUT THIS PROJECT. ALL COSTS ASSOCIATES WITH ANY SPECIAL SHORING, SHEETING AND/OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY. EITHER PUBLIC OR PRIVATE, DURING CONSTRUCTION ACTIVITIES. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

25. AFTER LOCATING AND VERIFYING EXISTING UTILITY TIE IN POINTS, CONTRACTOR IS TO VERIFY THAT DESIGN COMPONENTS SUCH AS, BUT NOT LIMITED TO, PERCENT SLOPE, INVERT, TAP LOCATIONS, PIPE RUNS, INFRASTRUCTURE DEPTH, ETC. WILL STILL BE IN ACCORDANCE WITH THE ENGINEERING PLANS.

26. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED.

27. CONTRACTOR TO PROTECT EXIST. METRORAIL PIERS AND OTHER STRUCTURAL COMPONENTS DURING CONSTRUCTION.

PRE-CONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS

2. CONTRACTOR MUST CONTACT THE ARCHITECT/ENGINEER OF RECORD TO ARRANGE FOR A PRE-CONSTRUCTION MEETING, A MINIMUM 2 BUSINESS DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

3. THE CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL OF FLORIDA (1-800-432-4770) AND ALL KNOWN EXISTING UTILITY OWNERS AT LEAST 2 BUSINESS DAYS BEFORE DIGGING TO ALLOW FOR FIELD LOCATION OF UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES IN THEIR EFFORTS TO FIELD VERIFY UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BEAR ALL COSTS FOR THIS WORK.

4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT.

5. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL. RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.

6. THE LOCATIONS OF THE UTILITIES SHOWN IN THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

OBSERVATIONS AND TESTING

1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 2 BUSINESS DAYS IN ADVANCE OF PERFORMING ALL CIVIL RELATED TESTS. UNLESS AUTHORIZED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL NOT PROCEED WITH TESTING UNLESS THE ENGINEER OR A DESIGNATED REPRESENTATIVE IS PRESENT TO

2. THE ENGINEER OF RECORD WILL REQUIRE THAT THE FOLLOWING TESTS BE PERFORMED WITH ACCEPTABLE

RESULTS: A. SANITARY SEWAGE COLLECTION SYSTEM:

LAMPING TEST FROM MANHOLE TO MANHOLE, INCLUDING CONNECTING MANHOLE II. INFILTRATION/EXFILTRATION TEST UP TO THE CONNECTING MANHOLE AND/OR AS REQUIRED BY AGENCY HAVING JURISDICTION FOR CERTIFICATION AND PERMIT CLOSE OUT.

STORM DRAINAGE EXFILTRATION TRENCH DEPTH

III. PRESSURE TEST AS REQUIRED BY DRER

II. LAMPING TEST FROM MANHOLE TO MANHOLE, INCLUDING CONNECTING MANHOLE (IF APPLICABLE) III. DRAINAGE WELL SPECIFIC CAPACITY TEST.

WATER SYSTEM-(PRESSURE TEST AND BACTERIOLOGICAL TEST) SUBGRADE - SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.

LIME ROCK BASE - SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT. ASPHALT PAVEMENT

FINAL WALK-THROUGH INSPECTION - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

H. CONCRETE FORMWORK AND ADA SLOPE VERIFICATIONS.

3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 2 BUSINESS DAYS IN ADVANCE OF THE

FOLLOWING EVENTS: A. PRIOR TO PLACING BALLAST ROCK AND PIPE WITHIN EXFILTRATION TRENCH TO MEASURE DEPTH AND

PRIOR TO BACKFILLING WATER MAINS AND SERVICES

PRIOR TO BACKFILLING SANITARY SEWER MAINS AND SERVICES AFTER COMPACTION OF LIMEROCK BASE AND PRIOR TO PLACEMENT OF FIRST LIFT OF ASPHALT

AFTER COMPLETION OF ALL PAVEMENT. INSTALLING CONNECTIONS TO ALL EXISTING PUBLIC POTABLE WATER AND SANITARY SEWER UTILITIES.

AT SUBSTANTIAL COMPLETION FINAL INSPECTION

UNLESS AUTHORIZED BY THE ENGINEER OF RECORD. THE CONTRACTOR SHALL NOT PROCEED WITH THESE ACTIVITIES. UNLESS THE ENGINEER OR A DESIGNATED REPRESENTATIVE IS PRESENT TO PERFORM AN INSPECTION.

4. SHOULD THE CONTRACTOR FAIL TO GIVE THE ENGINEER OF RECORD ADVANCE NOTICE OF TESTING AND INSPECTIONS AS SPECIFIED ABOVE, THE ENGINEER SHALL RESERVE THE RIGHT TO REFUSE ISSUANCE OF ANY CERTIFICATIONS OF COMPLETION AND FINAL INSPECTIONS, AND RESERVES THE RIGHT TO RECOMMEND THAT ANY CONTRACT AMOUNTS STILL HELD IN RETAINAGE NOT BE RELEASED. CITY INSPECTOR REPORTS SHALL NOT BE ACCEPTED AS A SUBSTITUTE FOR THE ENGINEER'S PRESENCE AT THE TESTING AND INSPECTION INTERVALS SPECIFIED ABOVE.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS:

A. DRAINAGE STRUCTURES, INCLUDING CATCH BASINS, WELL BOXES, PUMPS,

MANHOLES/INLET FRAMES/GRATES, BAFFLES, ETC. (REINFORCING SHALL BE PREPARED BY DELEGATE ENGINEER AND SHALL NOT BE REVIEWED AS PART OF THIS SUBMITTAL)

C. TRENCH DRAINS RELATED TO CIVIL DESIGN PLANS.

D. EXFILTRATION FILTER FABRIC

E. ALL WATER AND SEWER SYSTEM COMPONENTS RELATED TO CIVIL DESIGN PLANS I. MATERIAL SUBSTITUTION REQUESTS THAT CONTRACTOR HAS PREVIOUSLY VERIFIES ARE IN ACCORDANCE WITH COUNTY/AGENCY HAVING JURISDICTION/PROJECT SPECIFICATIONS.

2. ALL PRECAST STRUCTURAL DRAWINGS MUST BE SIGNED AND SEALED BY A STATE OF FLORIDA LICENSED ENGINEER OF RECORD STATING THAT THE STRUCTURE(S) MEETS THE H20 LOAD RATING REQUIREMENTS. STRUCTURAL SHOP DRAWINGS WILL BE REJECTED AND NOT REVIEWED IF NOT SEALED BY A FLORIDA LICENSED

IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS AS REQUIRED.

TEMPORARY FACILITIES

1. TEMPORARY FACILITIES

A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.

B. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

C. CONTRACTOR SHALL OBTAIN THE ENGINEERING DESIGN AND PERMIT FOR SUCH FACILITIES AT THE CONTRACTOR'S SOLE COST.

2. TRAFFIC REGULATION

A. THE CONTRACTOR SHALL PROVIDE ALL MAINTENANCE OF TRAFFIC DURING CONSTRUCTION. TO INCLUDE BUT IS NOT LIMITED TO WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH PALM BEACH COUNTY PUBLIC WORKS DEPARTMENT AND THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT.

B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC AT ALL TIMES. SPECIAL PRECAUTION IS TO BE TAKEN IN PATHS OF EGRESS.

C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT, PALM BEACH COUNTY PUBLIC WORKS DEPARTMENT, CITY OF RIVIERA BEACH UTILITY SPECIAL DISTRICT, AND PALM BEACH COUNTY WATER UTILITIES DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP

A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER AND THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN. UPON FINAL CLEANUP. THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH, AND THE PAVED AREAS SHALL BE BROOMED AND PRESSURE CLEANED.

B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE COMMENCEMENT OF OPERATIONS AND TO THE OWNER'S SATISFACTION.

C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE COMMENCEMENT OF OPERATIONS AND TO THE OWNER'S SATISFACTION.

D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION. ANY ADVERSE EFFECTS OR BUILDUP IN PUBLIC INFRASTRUCTURE WILL BE CLEANED AND REDUCED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.

E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

2. ALL PROPERTY MONUMENTS OR PERMANENT SURVEY REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS. PRIOR APPROVAL FROM THE ENGINEER OF RCORD IS REQUIRED FOR

B. AT THE COMPLETION OF THIS PROJECT, THE CONTRACTOR SHALL SUBMIT THREE (3) SIGNED & SEALED AS-BUILT DRAWINGS, SIGNED & SEALED BY A REGISTERED LAND SURVEYOR LICENSED IN THE STATE OF FLORIDA. ADDITIONAL AS-BUILT DRAWINGS REQUIRED BY THE CITY, COUNTY, STATE AND/OR FEDERAL REGULATORY AGENCIES SHALL ALSO BE SUBMITTED ONCE REQUIRED. THE AS-BUILT DRAWINGS SHALL INDICATE LOCATION, SIZE, ELEVATION, MATERIAL, ETC., OF ALL WORK COMPLETED UNDER THIS CONTRACT AND OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION.

VII. STORM DRAINAGE

1. WHEN EXISTING MANHOLE RINGS, CATCH BASIN GRATE AND FRAMES, VALVE BOXES, PULL BOXES OR OTHER UTILITY CASTINGS ARE ENCOUNTERED WITHIN THE PROPOSED LIMITS OF WORK THE CONTRACTOR SHALL FIELD ADJUST THE EXISTING RING AND FRAME, GRATE AND FRAME, VALVE BOXES OR PULL BOXES TO MATCH THE PROPOSED ELEVATION. SUCH WORK SHALL BE INCLUDED IN THE BID PRICE.

2. ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS OTHERWISE INDICATED.

3. STORM PIPE MATERIAL SHALL BE PER THE RESPECTIVE MUNICIPALITY'S PUBLIC WORKS STANDARDS AND/OR PALM BEACH COUNTY TRANSIT STANDARDS. ALL SOLID STORM PIPE SHALL BE WATERTIGHT.

4. CONTRACTOR SHALL VACUUM CLEAN AND REMOVE ALL SILT, SEDIMENT AND DEBRIS FROM ALL OF THE EXISTING AND PROPOSED DRAINAGE STRUCTURES AND PIPE NETWORK WITHIN THE PROJECT LIMITS PRIOR TO FINAL ACCEPTANCE OF DRAINAGE SYSTEM. ALL COST OF SUCH WORK SHALL BE INCLUDED IN THE BID PRICE.

5. ALL DRAINAGE WORK SHALL CONFORM TO THE GOVERNING JURISDICTIONAL AGENCY REGULATIONS AND STANDARDS

6. UNLESS OTHERWISE SPECIFIED ON THE PLANS, MINIMUM COVER OVER ALL STORM DRAINAGE PIPE SHALL BE 36-INCHES. CONTRACTOR SHALL AVOID ALL UNNECESSARY CROSSINGS BY HEAVY CONSTRUCTION EQUIPMENT DURING CONSTRUCTION.

7. UNLESS OTHERWISE SPECIFIED ON THE PLANS, ALL CATCH BASINS, MANHOLES, FRAMES AND GRATES, RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL BE DESIGNED TO WITHSTAND AN AASHTO AND FDOT H20 LOAD RATING AND SHALL BE OBTAINED FROM PLAN SPECIFIED

MANUFACTURERS OR APPROVED EQUIVALENT MANUFACTURER. VIII. EARTHWORK AND PAVING

- 1. ALL UNDERGROUND UTILITY WORK SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF SUB BASE. ANY SUBGRADE RE-WORK DUE TO UNDERGROUND INFRASTRUCTURE INCONSISTENCIES WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- 2. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.), PALM BEACH COUNTY PUBLIC WORKS DEPARTMENT STANDARD DETAILS AND THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
- 3. SAW CUT EXISTING CONCRETE WALKS, CURB AND GUTTERS, AND ASPHALT OR CONCRETE PAVEMENT CAREFULLY AND IN A STRAIGHT LINE WHERE UNDERGROUND WORK IS REQUIRED. WHERE PROPOSED ASPHALT OR CONCRETE PAVEMENT, CURB, SIDEWALK, ETC. WILL MEET AN EXISTING LOCATION CUT CONCRETE WALKS, CONCRETE PAVEMENT, CURB AND GUTTERS AT NEAREST EXISTING JOINT.

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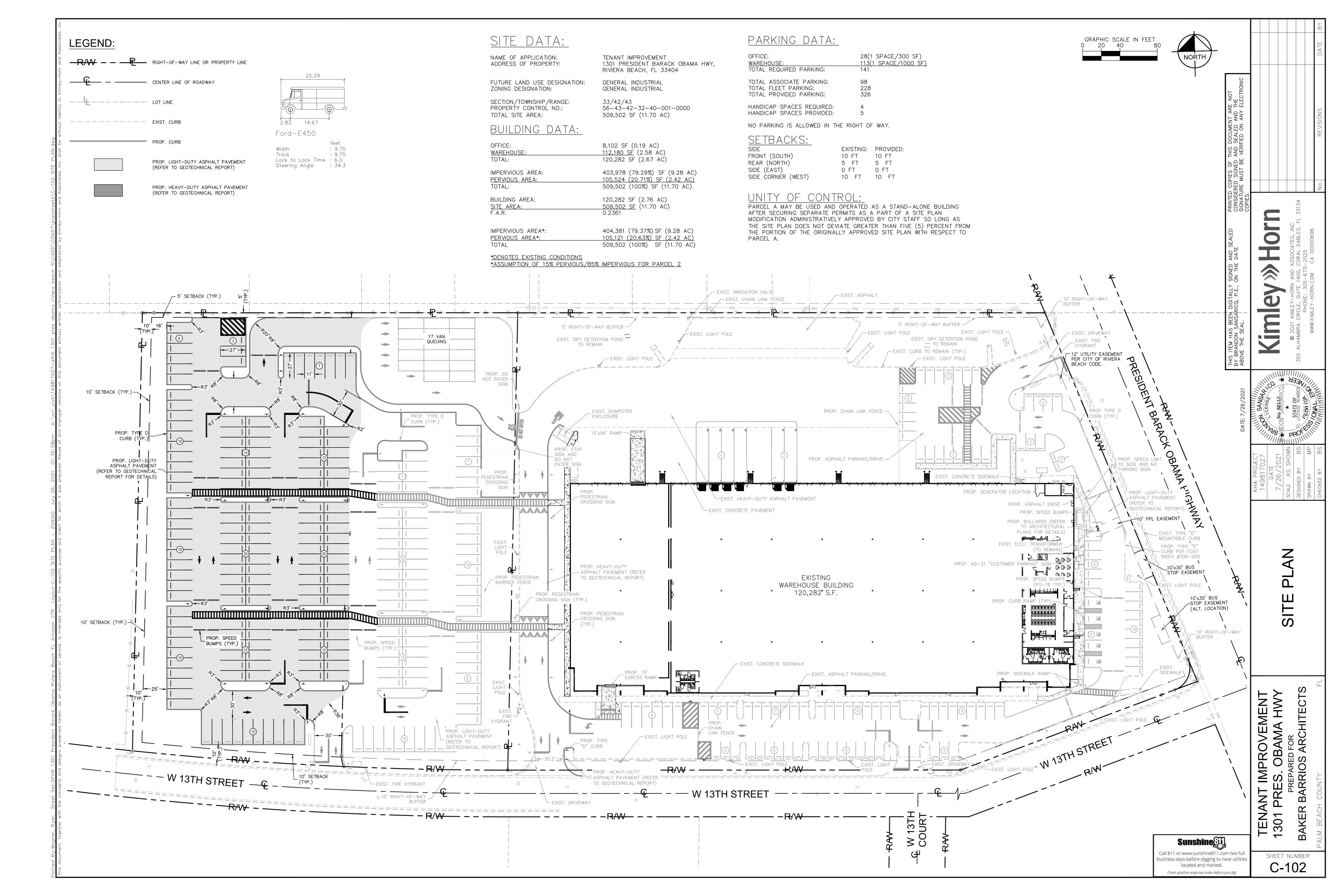
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SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN BAKER BARRIOS ARCHITECTS, "SURVEY" SHALL MEAN THE BOUNDARY SURVEY PREPARED BY LONGITUDE SURVEYORS AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

- EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING UTILITIES AND STRUCTURES ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL PHYSICALLY FIELD VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED. THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER, ARCHITECT, OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.
- 2. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN. ANY COMPONENTS INTENDED TO REMAIN BUT DAMAGED DURING DEMOLITION WILL BE REPLACED, NEW. BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 3. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
- 4. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
- 5. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- 6. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
- THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, CONTRACTOR MUST NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. THE UTILITY COMPANY, ENGINEER, AND CONTRACTOR MUST FIRST AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE. ALL ASSOCIATED COSTS SHALL BE INCURRED AT THE CONTRACTOR'S EXPENSE.
- 8. NO LIGHTING MAY BE REMOVED FROM PUBLIC STREETS UNTIL PROPOSED LIGHTING IS FULLY IN PLACE. OTHERWISE CONTRACTOR SHALL INSTALL A TEMPORARY LIGHTING SYSTEM, SO THAT NO AREA USED BY THE PUBLIC WILL HAVE LESS LIGHTING THAN CURRENTLY EXISTS.
- 9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY REMOVAL WORK SHALL BE REPAIRED, PATCHED OR REPLACED, AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S SATISFACTION.
- 10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER NOTICE TO PROCEED.
- 11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - PROTECT ALL EXISTING STRUCTURAL ELEMENTS TO REMAIN DURING DEMOLITION
 - IF APPLICABLE, PROVIDE A TEMPORARY PATCH AND REPAIR TO ALL SURFACES AFFECTED BY DEMOLITION WHICH ARE TO BE RECONSTRUCTED AS PART OF THIS PROJECT.
 - EXIST. CONC. OR ASPHALT PAVEMENT TO BE REMOVED SHALL BE SAW-CUT IN NEAT, STRAIGHT LINES.
 - EXIST. IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION TO BE REMOVED.
 - ALL EXISTING WIRE, IRON, CHAIN LINK, WOOD FENCES ARE TO REMAIN UNLESS OTHERWISE SPECIFIED. NO ELECTRIC POLE, STREET LIGHT, WATER METER/VALVE, FIRE HYDRANT ETC. WILL BE REMOVED WITHIN
 - THE ROADWAY RIGHT OF WAY LINES. REFER TO LANDSCAPE PLANS FOR ALL EXIST. TREES.
 - EXIST. MONITORING WELLS TO REMAIN AND BE PROTECTED AT ALL TIMES.
 - ALL EXISTING SURVEY REFERENCES AND MARKERS SHALL REMAIN IN PLACE OR BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - II. DESCRIPTION
- 1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
- 2. ALL ONSITE WORK INCLUDED CONSISTS OF, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, PAVEMENT, ETC.
 - B. CLEARING SITE OF DEMOLITION DEBRIS.
 - C. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
 - D. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION.

- III. APPLICABLE CODES
- 1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK
- ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION, AND OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS NOTIFIED, AND PERMITS HAVE BEEN OBTAINED FROM. THESE GOVERNING AUTHORITIES.
- IV. SEQUENCING AND SCHEDULING
- AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
- 2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.
- V. ENVIRONMENTAL PROTECTION
- CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN. OR CREATE. HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- 2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
- 3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED
- 5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY STREAMS, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO INSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
- 6. DURING THE ENTIRE COURSE OF OPERATIONS, ALL EXISTING DRAINAGE WAYS, BOTH INTO AND FROM THE PROJECT AREA SHALL BE MAINTAINED IN A FUNCTIONAL CONDITION.
- 7. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORM WATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE FOR THE CONTRACTOR TO ORDER TEMPORARY SUSPENSION OF THE WORK.
- 8. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
- 9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
- VI. TRAFFIC MAINTENANCE
- 1. CONTRACTOR SHALL FOLLOW THE MORE STRINGENT AND APPLICABLE PROCEDURE OUT OF THE FLORIDA DEPARTMENT OF TRANSPORTATION, THE CITY OF RIVIERA BEACH PUBLIC WORKS AND/OR PALM BEACH COUNTY PUBLIC WORKS MAINTENANCE OF TRAFFIC PROCEDURES DURING DEMOLITION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIANS PATHS, AND ROADWAYS (FDOT INDEX 600 SERIES).
- 2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING PLATING, GUARDRAILS, LAMPS, WARNING SIGNS, FLAGS, ETC. AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
- 3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 660.
- 4. CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. KEEP PAVED STREETS AND WALKWAYS FREE OF DEBRIS. REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.
- VII. CLEAN UP
- 1. REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
- 2. REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
- 3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

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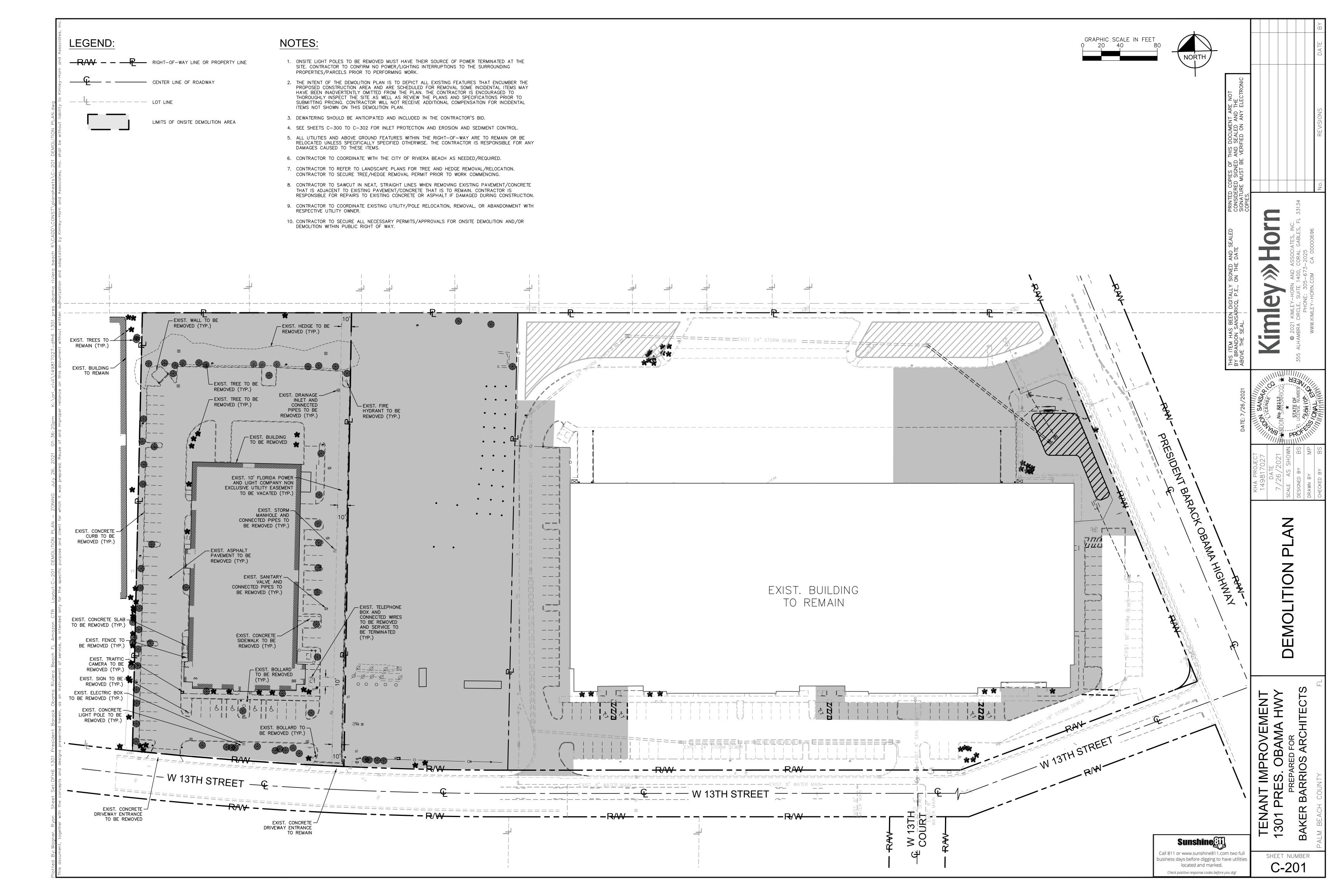
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A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.

B. SEDIMENTION PROTECTION OF STORM SEWER OR RECEIVING

C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGUR REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRÈD NPÓES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMI ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THIS DRAWING. THE STANDARD DETAILS. THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

FUEL SPILLS AND LEAKS PREVENTION PREVENT/REDUCE VEHICLE AND EQUIPTMENT WASHING AND WIND EROSION CONTROL PRACTICES

VEHICLE AND EQUIPTMENT MAINTENANCE AND REPAIR PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS,

PRODUCTS, AND BY-PRODUCTS HAZARDOUS WASTE MANAGEMENT CONCRETE WASTE MANAGEMENT

SANDBLASTING WASTE MANAGEMENT STRUCTURE CONSTRUCTION AND PAINTING SPILL PREVENTION AND CONTROL CONTAMINATED SOIL MANAGEMEN

SANITARY/SEPTIC WASTE MANAGEMENT SOIL EROSION CONTROL STORM WATER TURBIDITY MANAGEMENT

ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

D. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.

H. GENERAL EROSION CONTROL BMPS SHALL BE EMPLOYED TO MINIMIZE SOIL FROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE

. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITI MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT

J. TOPSOIL CANNOT BE STOCKPILED INSIDE THE PROPERTY FOR

K. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND

CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES: A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION

B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND

C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION. D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY

. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.

3. A TEMPORARY SEDIMENT TRAP SHOLD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS. F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

G. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS

H. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED. J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET

PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:

BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION

ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABALIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABALIZATION PRACTICES FOR

E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. 3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FIBER SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.

> ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND THE FOLLOWING CLEAN-UP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS,

SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE

RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY

AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL

ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL

VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.

AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.

THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

STABILIZATION PRACTICES:

A. TEMPORARY STABILIZATION - TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASE FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. THE TEMPORARY SEED REQUIRED CAN BE FOUND IN TABLE 1.65 A OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, WHERE SOILS ARE ACIDIC 2 TONS OF PULVERIZED AGRICULTURAL LIMESTONE SHOULD BE ADDED PER ACRE AND 450 POUNDS OF 10-20-20 FERTILIZER SHALL BE APPLIED TO EACH ACRE. AFTER SEEDING, EACH AREA SHALL BE IMMEDIATELY MULCHED WITH STRAW OR EQUIVALENT EQUAL. AREAS OF THE SITE WHICH ARE TO BE PAVED SHALL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILE AND STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED.

B. PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. APPROPRIATE PERMANENT SEED MIX CAN BE FOUND IN TABLES 1.66A. 1.66B AND 1.66C OF THE FLORIDA DEVELOPMENT MANUAL. PRIOR TO SEEDING, 2 TONS/ACRE OF FINELY GROUND AGRICULTURAL LIMESTONE AND THE PROPER FERTILIZER BASED ON THE TYPE OF SEEDING SHALL BE APPLIED TO EACH ACRE TO PROVIDE PLANT NUTRIENTS. AFTER SEEDING, EACH AREA SHALL BE MULCHED IMMEDIATELY.

C. STABILIZATION WILL BE INITIATED ON ALL DISTURBED AREAS WITHIN 14 DAYS OF WORK CEASING, UNLESS CONSTRUCTION ACTIVITY WILL RESUME IN THAT AREA WITHIN 21 DAYS AFTER WORK STOPPAGE. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

). CONTRACTOR TO ENSURE THAT EXISTING VEGETATION ON OR ADJACENT TO THE PROPOSED SITE IS PRESERVED AND DISTURBED PORTIONS OF THE SITE ARE STABILIZED. TABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

F. SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

STRUCTURAL PRACTICES:

A. EARTH DIKE — IF REQUIRED, AN EARTH DIKE SHALL BE CONSTRUCTED ALONG THE SITE PERIMETER. A PORTION OF THE DIKE SHALL DIVERT RUN-ON AROUND THE CONSTRUCTION SITE THE REMAINING PORTION OF THE DIKE SHALL COLLECT RUNOFF FROM THE DISTURBED AREA AND DIRECT THE RUNOFF TO THE

B. SEDIMENT BASIN — A SEDIMENT BASIN SHALL BE CONSTRUCTED IN THE COMMON DRAINAGE AREA FOR THE SITE. ALL SEDIMENT COLLECTED IN THE BASIN MUST BE REMOVED FROM THE BASIN UPON COMPLETION OF CONSTRUCTION. SEDIMENT FROM THE BASIN MAY BE USED AS FILL ON THE SITE IF IT IS SUITABLE SOIL.

C. SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62-621.300(4)(a)

WASTE DISPOSAL

WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHAL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND

HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.

C. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE

D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

E. ANY CONSTRUCTION DEBRIS GENERATED AS A RESULT OF THIS PROJECT WILL BE DISPOSED OF OFF-SITE AN AT APPROPRIATE WASTE FACILITY.

F. CONCRETE WASHOUT LOCATIONS WILL BE PROVIDED IN AREAS WHERE THE DISPOSAL MATERIALS WILL BE CONTAINED TO PREVENT DISCHARGE OUTSIDE OF THE PROJECT LIMITS AND INTO THE WATERWAYS.

INSPECTION AND MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN. SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED. C. THE SILT FENCE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF FENCE. SILT FENCES

SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF

DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT . THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD

ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE

KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS

G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION

H. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED. THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL E AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

J. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT. K. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND

OFFSITE TRACKING:

A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTED TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPAULIN.

B. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.

C. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.

D. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEI CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF

. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

A. GOOD HOUSEKEEPING

SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION

COMPLETION. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF

2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT

4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.

5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE 6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF

ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

B. HAZARDOUS PRODUCTS MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS

AND PRODUCT INFORMATION SHALL BE SAVED. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED 15. RUNOFF COEFFICIENTS: EXISTING: IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE

C. PRODUCT SPECIFIC PRACTICES

PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID

NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON

STORMWATER POLLUTION PREVENTION RACTICES:(FOR PROJECTS OF 0.5 ACRES OR MORE CITY ORDINANCE NUMBER 13081

TREE PROTECTION AND PRUNING SHALL BE ACCOMPLISHED AS DETAILED IN SPECIAL PROVISIONS, THE CONSTRUCTION

PLANS, AND/OR PER TREE ORDINANCE 12636.

2. ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM, OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL INLET ENTRANCES ARE ALSO TO B PROTECTED FROM SILTATION AS DETAILED ON THE CITY OF CORAL GABLES PUBLIC WORKS ENGINEERING STANDARD FOR DESIGN AND CONSTRUCTION MANUAL.

3. ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.

4. ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.

5. DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE OF INLET TOP SHALL NOT BE HIGHER THAT INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP, COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE

6. CURB INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPETE. ALL EXPOSED SLOPED MATERIAL ADJACENT TO INLETS SHALL BE COVERED WITH EROSION CONTROL MATTING WITH OUTER LIMITS PROTECTED BY ROCK BAGS. ANY DAMAGED OR INEFFECTIVE ROCK BAGS ARE TO BY REPLACED WITH NEW ONES.

7. STOCKPILED MATERIAL SHALL NOTE BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER OR ROCK BAGS. 8. INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BY NOTED AND

9. ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPAL SEPARATE STORMWATER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES IS NOT ALLOWED. THE USE OF SANITARY SEWERS, FRENCH DRAINS, COVER

DITCHES AND/OR ROCK DRAINS FOR THE DISPOSAL OF WASTEWATER IS EXPRESSLY PROHIBITED. PROJECT DESCRIPTION:

PROJECT LOCATION: 1301 PRESIDENT BARACK OBAMA HWY, RIVIERA BEACH, FL 33404

10. PROJECT LIMITS: TOTAL PROJECT AREA IS APPROXIMATELY 12 ACRES. 11. CONSTRUCTION ACTIVITY: CONSTRUCTION OF PROPOSED BUILDING, ROADWAY IMPROVEMENTS, SIDEWALKS, LANDSCAPING, UTILITIES, AND DRAINAGE SYSTEM.

12. MAJOR SOIL DISTURBING ACTIVITIES: CLEARING AND GRUBBING, INSTALLATION OF DRAINAGE SYSTEM, INSTALLATION OF UTILITIES, CONSTRUCTION OF BUILDING FOUNDATION. 13. DEWATERING ACTIVITIES: DEWATERING IS NOT ANTICIPATED

FOR THIS SITE. 14. SOIL CHARACTERISTICS: THE SOIL TYPE WITHIN THE PROJECT'S LIMIT OF DISTURBANCE IS CLASSIFIED AS URBAN SOIL AND IS NOT HIGHLY ERODIBLE.

CONSTRUCTION:

SEQUENCE OF CONSTRUCTION

SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS:

PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING, INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN, STANDARD DETAILS, NPDES REQUIREMENTS, AND THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT REQUIREMENTS.

3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN 2. BEGIN CLEARING AND GRUBBING.

INSTALL DRAINAGE SYSTEM, INCLUDING: CONCRETE INLETS, DRAIN BASINS, DRAINAGE PIPES, DRAINAGE WELLS, AND EXFILTRATION TRENCHES.

INSTALL INLET PROTECTION AND ROCK BAGS ON ALL INLETS AND MANHOLES IN THE LOCATIONS SHOWN ON THE PLANS AND PER THE STANDARD DETAILS PROVIDED AND THE CITY OF RIVIERA BEACH PUBLIC WORKS DEPARTMENT REQUIREMENTS.

5. PREPARE SUBBASE MATERIAL.

6. BEGIN ASPHALT AND CONCRETE INSTALLATION.

7. AFTER COMPLETION OF SITE WORK, BEGIN SITE STABILIZATION AND PERMANENT SEEDING.

ONCE SITE STABILIZATION IS COMPLETE, CONTRACTOR TO CLEAN ALL CONSTRUCTION DEBRIS FROM CONSTRUCTION SITE. 9. ONCE A UNIFORM 70% VEGETATIVE COVER OF PERENNIAL VEGETATION IS ACHIEVED ACROSS THE ENTIRE DISTURBED AREA THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES

WEER *

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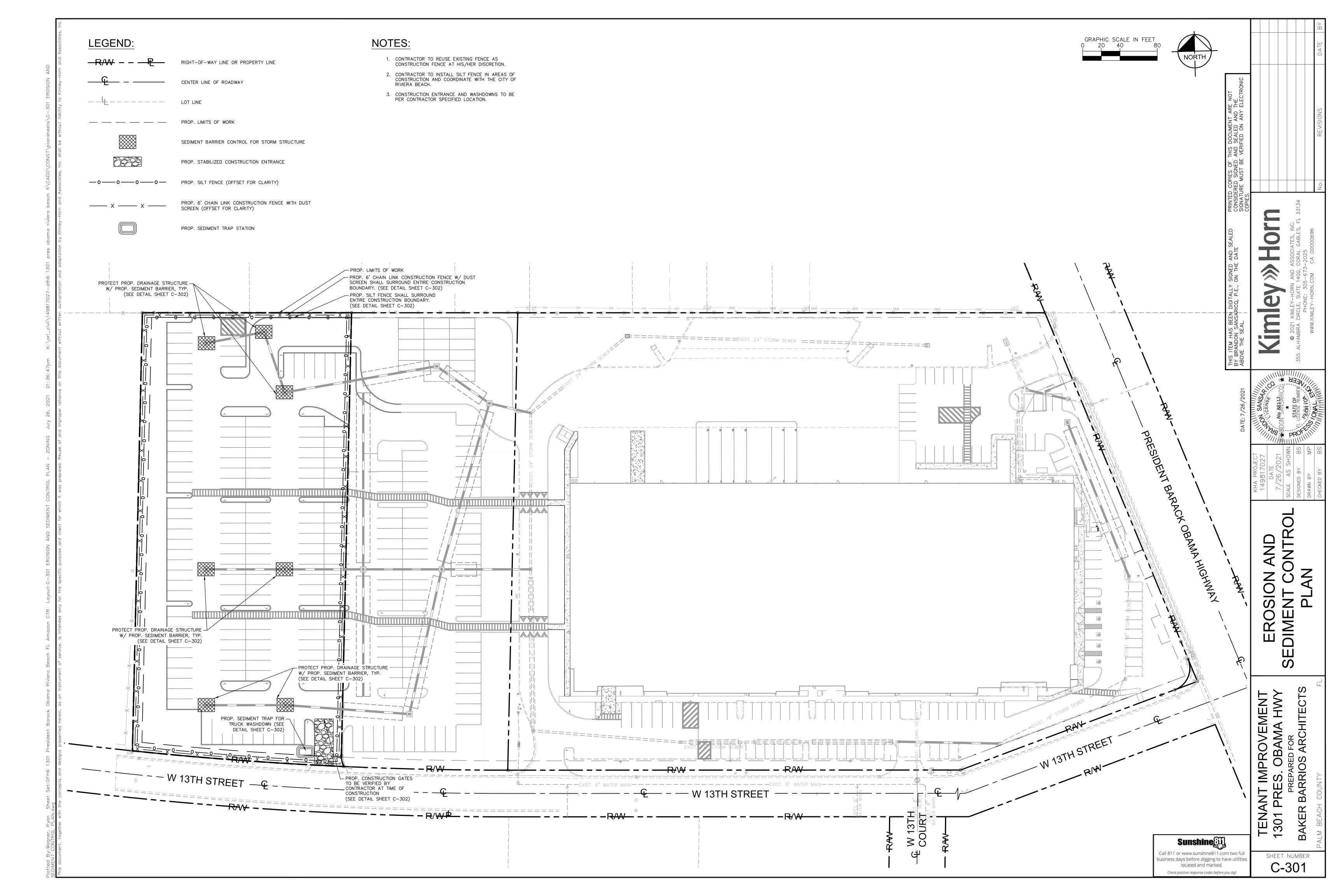
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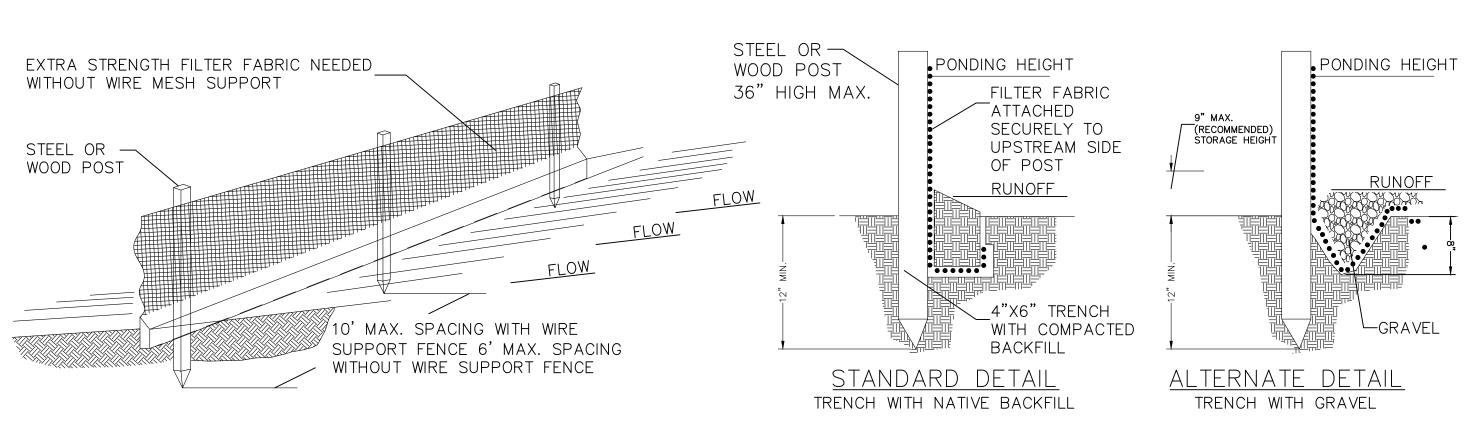
Call 811 or www.sunshine811.com two fu

Check positive response codes before you dig!

Sunshine [4] business days before digging to have utilities located and marked.

SHEET NUMBER C-300





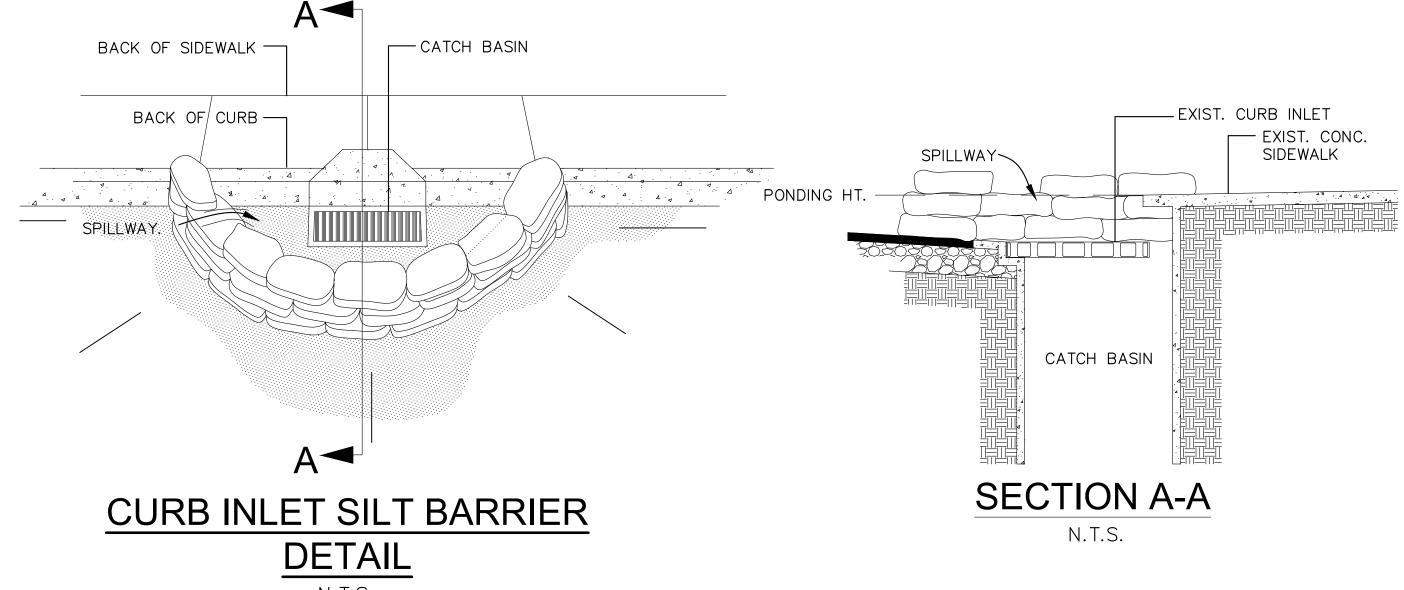
3. PLACEMENT OF SEDIMENT TRAP SHALL

BY LOCAL JUSIDICTION.

BE AT LEAST THE MINIMUM DISTANCE FROM THE RIGHT OF WAY AS REQUIRED

- 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

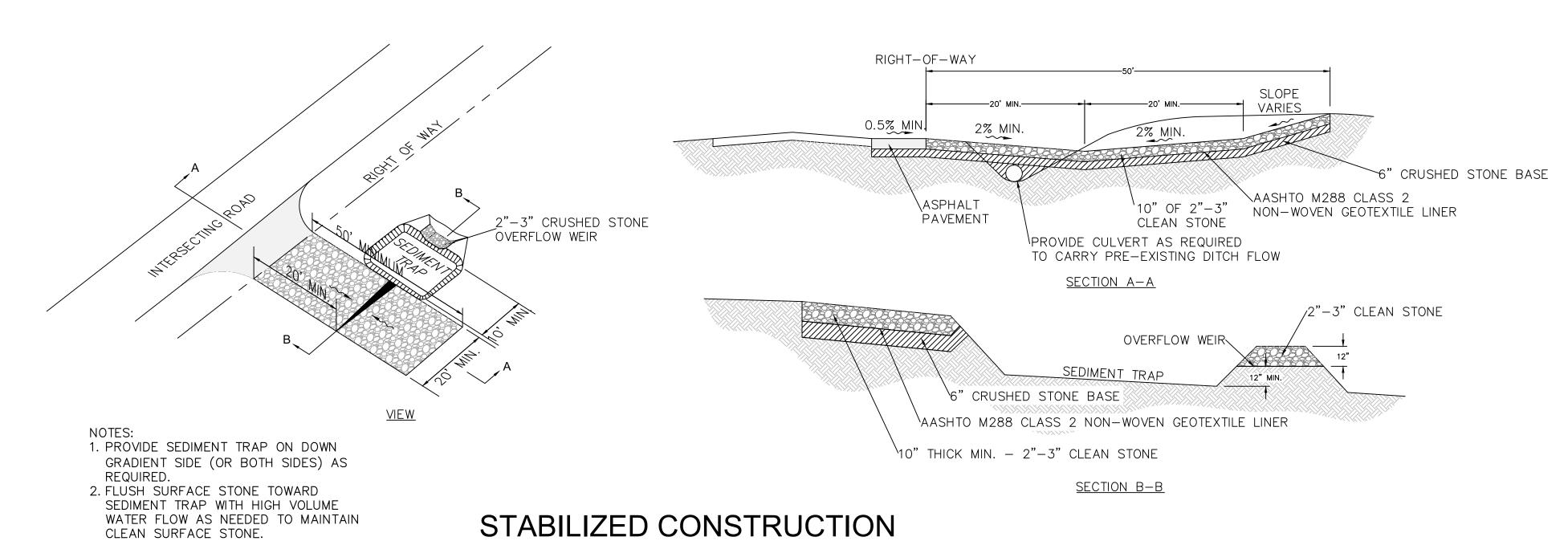
SILT FENCE DETAIL



NOTES:

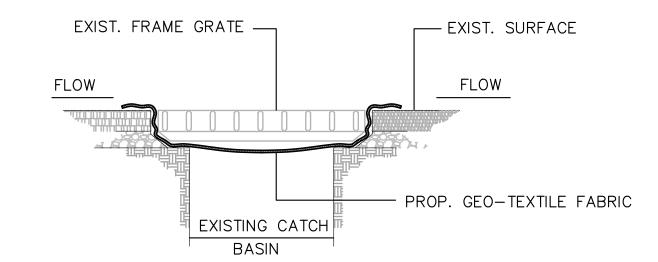
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.

- 2. SANDBAGS, OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL LAYERED AND PACKED TIGHTLY.
- 3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
- 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



ENTRANCE (SCE)

N.T.S.



CATCH BASIN SILT BARRIER

N.T.S.

NOTES:

1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED. SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.

2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

DETAIL

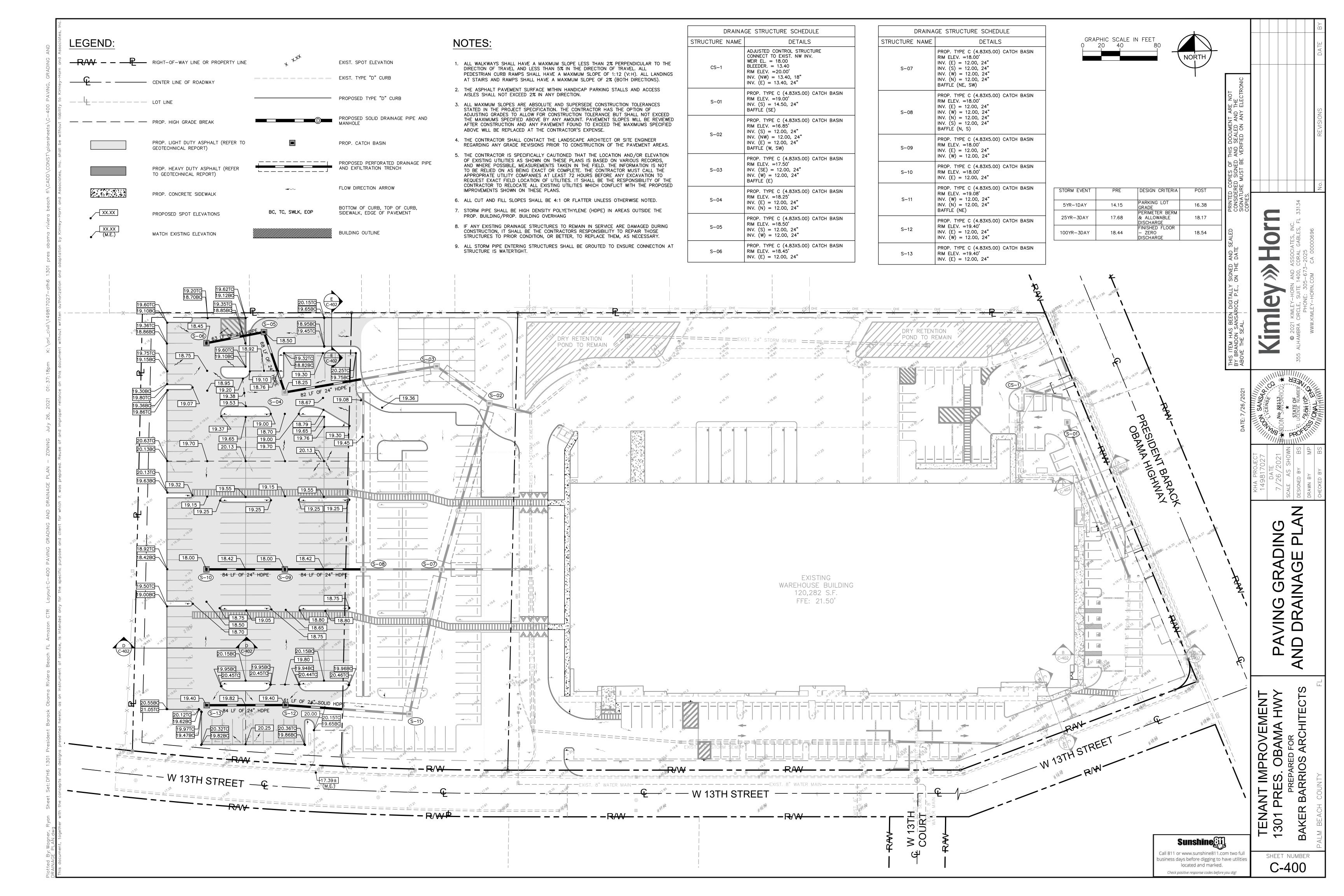
PREPARED FOR BARRIOS ARCHITECTS TENANT IMPROVEMENT 1301 PRES. OBAMA HWY

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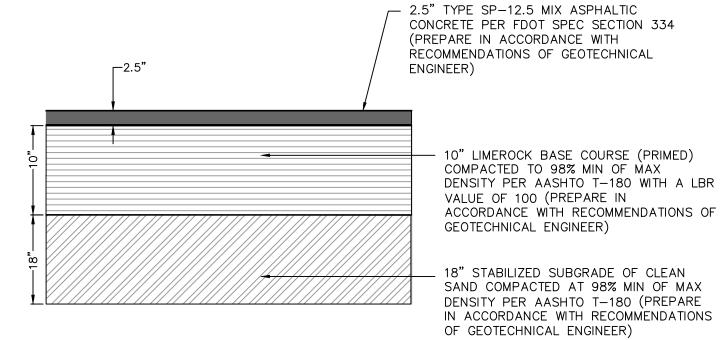
Sunshine Call 811 or www.sunshine811.com two full ousiness days before digging to have utilities located and marked.

SHEET NUMBER C-302



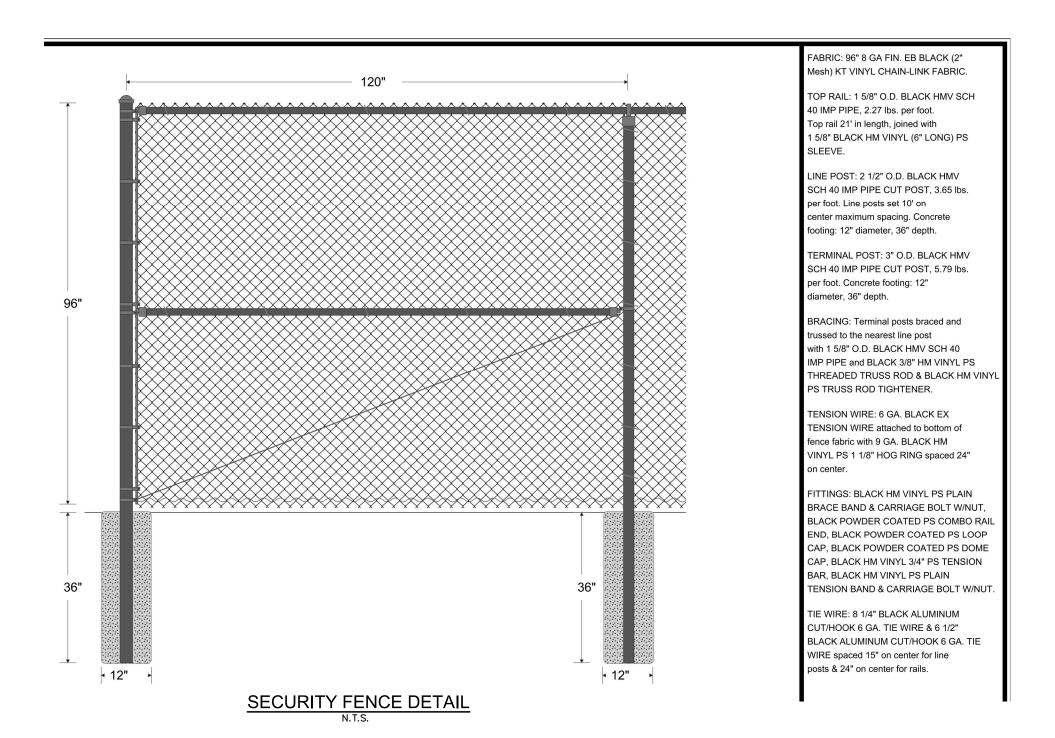
- 1- ALL WORK SHALL COMPLY WITH PALM BEACH COUNTY SPECIFICATIONS.
- 2- BOTTOM OF BASE COURSE AND SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE A MINIMUM OF 24".
- 3- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-180.
- 4- LIMEROCK BASE TO BE PLACED IN UNIFORM LIFTS NOT TO EXCEED 6" OF LOOSE THICKNESS.
- 5- ALL CURBING TO BE FULL DEPTH.

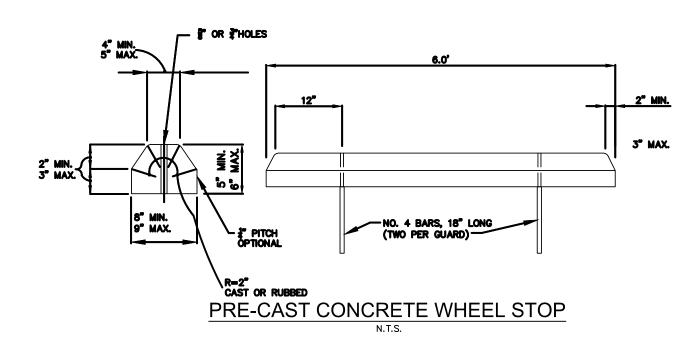
LIGHT-DUTY ASPHALT PAVEMENT DETAIL

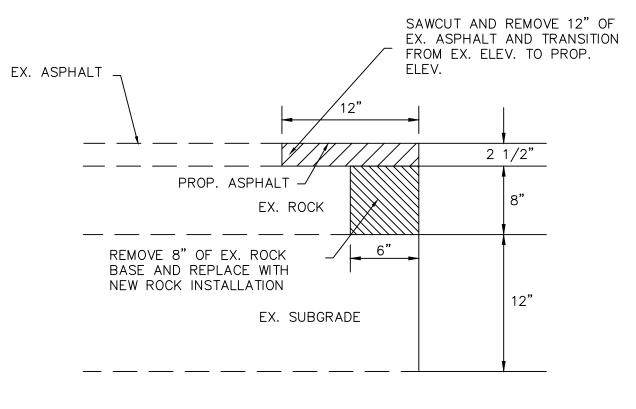


- 1- ALL WORK SHALL COMPLY WITH PALM BEACH COUNTY SPECIFICATIONS.
- 2- BOTTOM OF BASE COURSE AND SEASONAL HIGH GROUNDWATER LEVEL SHOULD BE A MINIMUM OF 24".
- 3- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-180.
- 4- LIMEROCK BASE TO BE PLACED IN UNIFORM LIFTS NOT TO EXCEED 6" OF LOOSE THICKNESS.
- 5- ALL CURBING TO BE FULL DEPTH.
- 6- ASPHALT TO BE DESIGNED USING HIGH POLYMER BINDER.

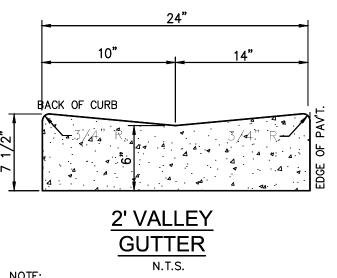
HEAVY-DUTY ASPHALT PAVEMENT DETAIL

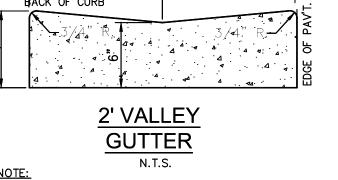


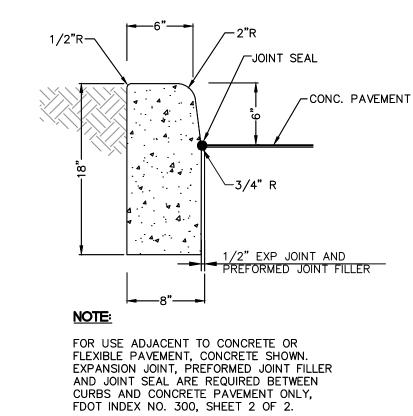




ASPHALT CONNECTION DETAIL





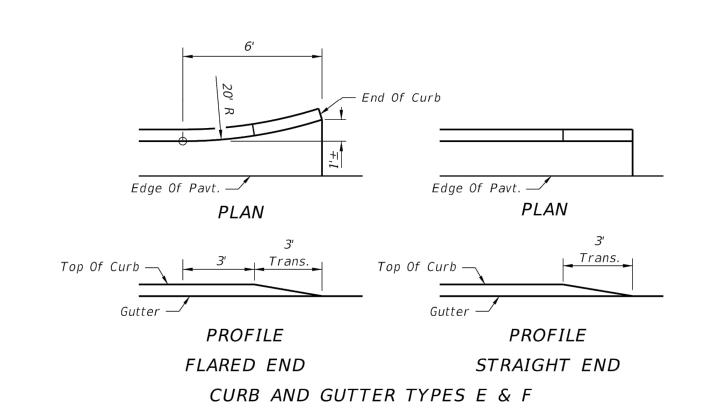


TYPE "D" CURB

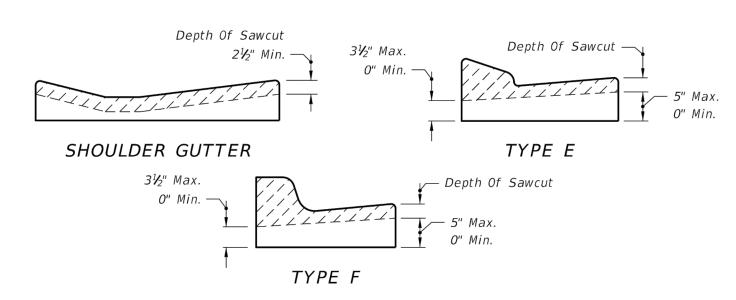
N.T.S.

%" EXPANSION JOINT W/ BRUSH FINISH 34" TOOLED CHAMFERED EDGE 4000 PSI COMPRESSIVE STRENGTH CONCRETE HEAVY DUTY PAVEMENT 6"x6" W2.9xW2.9 WELDED WIRE MESH

THICKENED CONCRETE PAVEMENT EDGE



2 EACH #4 REBAR FOR CONTINUOUS REINFORCEMENT



Sawcuts should be avoided within valley gutter and within curb and gutter endings.

TYPE "E" CURB



TENANT IMPROVEMENT 1301 PRES. OBAMA HWY SHEET NUMBER C-401 Check positive response codes before you dig!

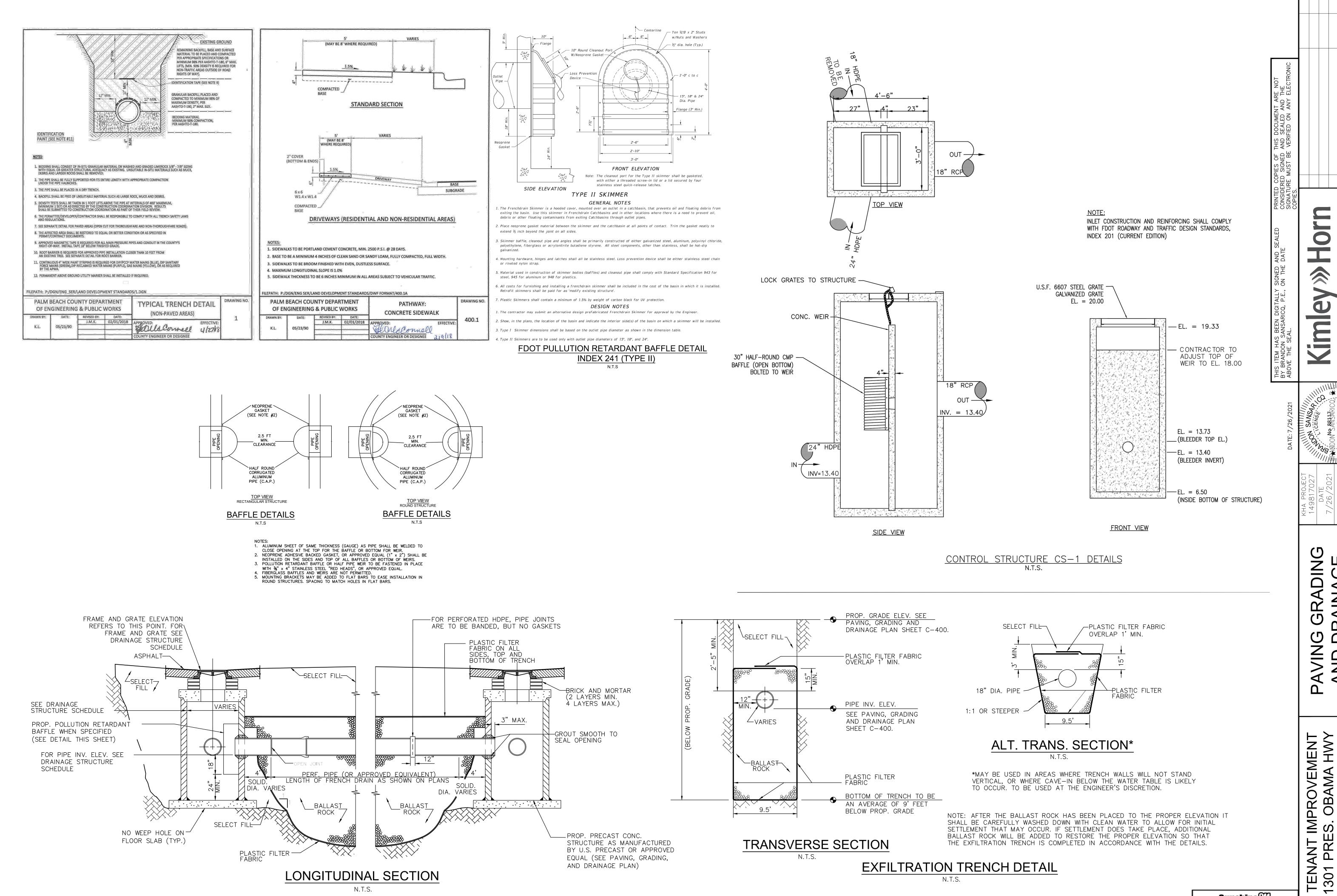
ADING

GR

AVING

PREPARED FOR BARRIOS ARCHITECTS

ALL CONCRETE SHALL BE 3,000 PSI AT 28 DAYS.



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

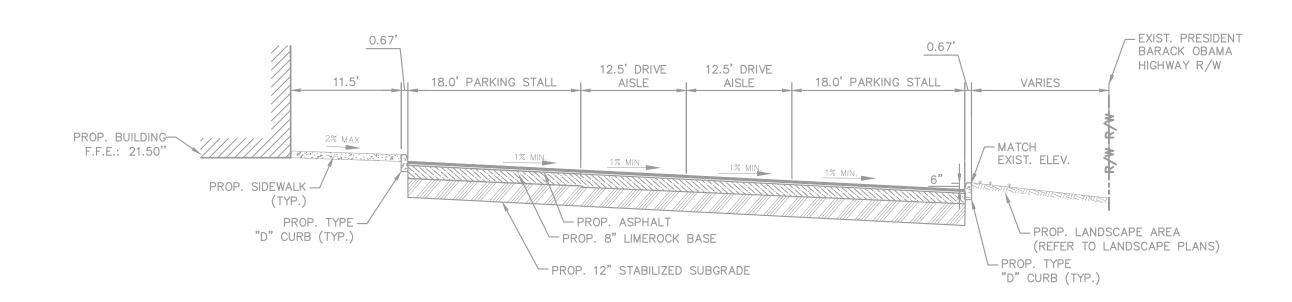
Check positive response codes before you dig!

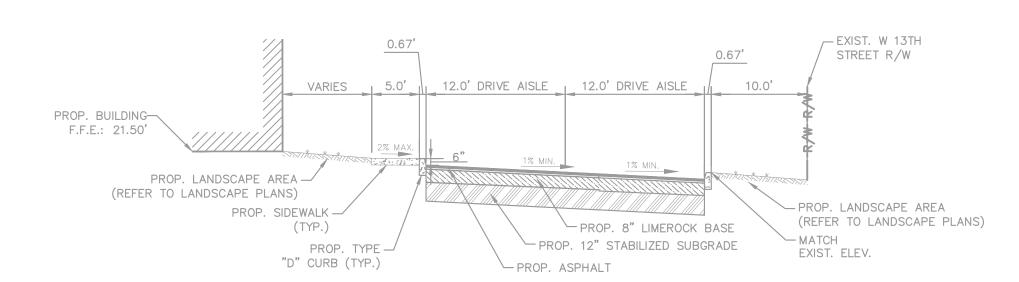
C-401

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PREPARED FOR BARRIOS ARCHITECTS

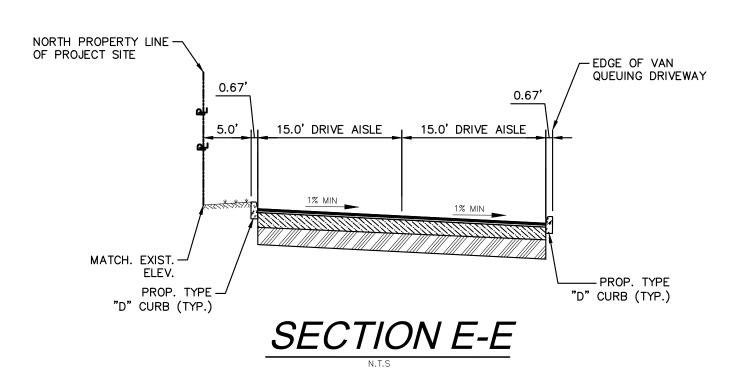
BAKER





27.0' PARKING STALL 27.0' PARKING STALL 15.0'-24.0' 15.0' DRIVE AISLE | 15.0' DRIVE AISLE MATCH EXIST. ELEV. -PROP. LANDSCAPE AREA — (REFER TO LANDSCAPE PLANS) ← PROP. 8" LIMEROCK BASE PROP. ASPHALT -PROP. TYPE -PROP. 12" STABILIZED SUBGRADE PROP. 8" LIMEROCK BASE -"D" CURB (TYP.) PROP. 12" STABILIZED SUBGRADE -PROP. ASPHALT

SECTION D-D



PAVEMENT NOTES:

1. THE FULL DEPTH OF ALL EXISTING ORGANIC AND DELETERIOUS MATERIAL WITHIN THE ROADWAYS, RIGHT-OF-WAYS AND UTILITY/DRAINAGE EASEMENTS SHALL BE REMOVED. NO MATERIAL OF FDOT CLASS A-5, A-7 OR A-8 SHALL BE ALLOWED.

WEST PROPERTY LINE — OF PROJECT SITE

2. ALL MATERIAL SUPPORTING THE ROADWAY AND SHOULDERS SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (L.B.R.) OF 40. THE SUBGRADE SHALL BE 12" COMPACTED TO 98% OF MAXIMUM DRY DENSITY AS PER AASHTO T-180. THE ENGINEER AND CITY INSPECTOR WILL DETERMINE THE LOCATION AND NUMBER OF DENSITY TESTING, WHICH SHALL BE APPROXIMATELY ONE DENSITY FOR EVERY 7000 SQUARE FEET OF ROAD.

3. LIMEROCK BASE SHALL BE 8" PRIMED AND SHALL HAVE A MINIMUM LIMEROCK BEARING RATE (LBR) OF 100, SHALL BE OF THE MIAMI FORMATION, HAVING A MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM OF 60, UNLESS OTHERWISE APPROVED. BASE MATERIAL SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180 UNDER ALL PAVED AREAS.

4. BASE COURSE CONSTRUCTION SHALL NOT BE STARTED UNTIL ALL UNDERGROUND CONSTRUCTION IN THE VICINITY HAS BEEN INSTALLED, TESTED AND ACCEPTED. 5. PRIME AND TACK COAT FOR BASE SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF SECTIONS 300-1 THROUGH 300-7 OF F.D.O.T. STANDARDS SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD.

6. THE WEARING SURFACE SHALL BE 1.5 INCHES APPLIED IN TWO ¾ INCH LIFTS AND SHALL BE ASPHALT CONCRETE TYPE SP-12.5 WITH TACK COAT USED BETWEEN PAVING COURSES AS PER F.D.O.T. MINIMUM STANDARDS.

7. THE FIRST LIFT OF ASPHALT SHALL BE INSTALLED $\frac{1}{2}$ INCH BELOW THE LIP OF CURB. THE SECOND LIFT OF ASPHALT TO BE $\frac{1}{4}$ INCH ABOVE THE LIP OF CURB. 8. ALL GRADES SHOWN ARE FINISH ASPHALT PAVEMENT GRADES (2ND LIFT) UNLESS OTHERWISE NOTED.

9. ALL REPAIRS TO EXISTING PAVEMENT SHALL RECEIVE SAW—CUT EDGES PRIOR TO RELAYING ASPHALT. UTILITY PIPING OR WIRING LESS THAN FOUR (4) INCHES IN DIAMETER REQUIRES A SCHEDULE 40 PVC CASING PIPE WITH SAND BACKFILLS UNDER PAVED AREAS ONLY.

10. ALL EXISTING CONTROL POINTS AND/OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE PLAN.

11. LABORATORY PROCTOR COMPACTION TEST (T-180) SHALL BE PERFORMED ON ALL MATERIAL, SUBGRADE AND BASE AND ANY SUBSEQUENT CHANGES IN MATERIALS. LIMEROCK BEARING RATIOS, SIEVE ANALYSIS AND DENSITIES REQUIRED BY THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ENGINEER-OF-RECORD.

> Call 811 or www.sunshine811.com two ful business days before digging to have utilities located and marked.

SHEET NUMBER C-402

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EDGE OF VAN PARKING SECTION

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TENANT 1301 PRE

