



LEAD TESTING CONSULTANTS

October 16, 2018

RE: Limited Lead Testing
2600 Broadway Avenue
Riviera Beach, Fl 33404



On October 16, 2018, Lead Testing Consultants, Inc (LTC) performed Limited Lead Testing on the building located at 2600 Broadway Avenue Riviera Beach, Florida.

The purpose of the scope of work was to randomly test building components for the presence of lead-based paint. It was LTC's understanding that a HUD compliant lead inspection was not necessary. Therefore, the limited testing is considered a screening for materials containing lead.

Testing was performed with a properly calibrated XRF instrument manufactured by RMD, Inc., Model LPA-1, Serial Number 3473 operated by a certified EPA Risk Assessor. The attached table (Table 1) lists all randomly selected building components and locations that were tested for the presence of lead-based paint.

A total of 114 building components were sampled during the survey (see attached table for specific results). Lead-based paint in amounts equal to or greater than 1.0 mg/cm² was NOT detected.

Note: Lead-based paint – The U.S. Environmental Protection Agency (EPA) defines Lead-based as paint or other surface coatings that contain lead equal to or greater than 1.0 mg/cm² or .05 percent by weight. Surface coatings include paint, shellac, varnish, or any other coating, including wallpaper that covers painted surfaces. The method used in this testing measured the lead concentrations in mg/cm².

Note: Some painted/coated surfaces may contain levels of lead below 1.0 mg/cm², which could create lead dust or lead-contaminated soil hazards if the paint is turned into dust by abrasion, scraping, or sanding. Levels of lead-based paint below 1.0 mg/cm² are also a concern for employees working under the jurisdiction and authority of the OSHA standards, 29 CFR 1926.62

Respectively Submitted,

Kimberly Chew

Kimberly Chew
LBP-R- 100878-1
LBP-107456-1

Enclosures:
Table 1. XRF Readings

TABLE 1

DETAILED REPORT OF LEAD PAINT SURVEY FOR:

Inspection Date: 10/16/18 2600 Broadway Avenue
 Report Date: 10/17/2018 Riviera Beach, Fl 33404
 Abatement Level: 1.0
 Report No. 10/16/18 12:26
 Total Readings: 120
 Job Started: 10/16/18 12:26
 Job Finished: 10/16/18 14:00

Read No.	Wall	Structure	Location	Member	Paint Cond	Substrate	Paint Color	Lead (mg/cm ²)	Mode
Exterior Room 001 Exterior									
116	A	Wall	L Rgt		P	Concrete	N/A	0.0	QM
117	A	Stairs	Lft	Wall	P	Concrete	N/A	-0.2	QM
114	B	Wall	L Ctr		P	Brick	N/A	0.2	QM
115	B	Wall	L Rgt		P	Concrete	N/A	0.3	QM
112	C	Walkway	Ctr		P	Concrete	N/A	0.0	QM
113	C	Ceiling	Ctr		P	Concrete	N/A	-0.3	QM
109	C	Wall	L Rgt		P	Concrete	N/A	0.1	QM
111	C	Door	Ctr	U Ctr	P	Metal	N/A	-0.1	QM
110	C	Column	Rgt		P	Wood	N/A	-0.1	QM
Interior Room 001 Common Area									
004	A	Wall	L Rgt		P	Concrete	N/A	0.0	QM
006	A	Wall	U Rgt		P	Concrete	N/A	0.0	QM
005	A	Window	Rgt	Mull	P	Metal	N/A	-0.1	QM
008	C	Wall	U Lft		P	Dry wall	N/A	-0.1	QM
007	C	Wall	U Ctr		P	Dry wall	N/A	0.1	QM
009	D	Wall	U Rgt		P	Dry wall	N/A	-0.3	QM
013	D	Ceiling	Rgt		P	Dry wall	N/A	0.3	QM
012	D	Soffit	Rgt		P	Dry wall	N/A	-0.1	QM
011	D	Door	Rgt	Lft jamb	P	Metal	N/A	0.1	QM
010	D	Door	Rgt	U Ctr	P	Wood	N/A	0.1	QM
Comment: First Floor									
Interior Room 002 Teller Stat									
014	A	Wall	U Ctr		P	Dry wall	N/A	-0.4	QM
020	B	Shelves	Ctr		P	Wood	N/A	-0.1	QM
015	B	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
019	B	Wall	U Ctr		P	Dry wall	N/A	-0.3	QM
018	B	Door	Ctr	Lft jamb	P	Metal	N/A	0.2	QM
017	B	Door	Ctr	U Ctr	P	Wood	N/A	-0.2	QM
016	C	Wall	U Ctr		P	Dry wall	N/A	0.0	QM
Comment: First Floor									

Interior Room 003 Vault Rm

021	C	Wall	U Ctr		P	Concrete	N/A	0.1	QM
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Comment:
First Floor

Interior Room 004 Office

022	B	Wall	U Lft		P	Concrete	N/A	0.0	QM
023	B	Window	Lft	Mull	P	Metal	N/A	-0.8	QM
025	D	Door	Lft	Lft jamb	P	Wood	N/A	-0.7	QM
024	D	Door	Lft	U Ctr	P	Wood	N/A	0.0	QM

Comment:
First Floor

Interior Room 005 Office

026	A	Wall	U Ctr		P	Concrete	N/A	0.2	QM
027	B	Wall	U Ctr		P	Wood	N/A	-0.3	QM
030	B	Door	Rgt	Lft jamb	P	Wood	N/A	-0.5	QM
029	B	Door	Rgt	U Ctr	P	Wood	N/A	0.0	QM
028	D	Wall	U Ctr		P	Dry wall	N/A	0.0	QM

Comment:
First Floor

Interior Room 006 Office

032	A	Wall	U Rgt		P	Dry wall	N/A	0.3	QM
033	B	Window	Ctr	Mull	P	Metal	N/A	-0.3	QM
031	C	Wall	U Ctr		P	Brick	N/A	-0.1	QM
036	D	Wall	U Ctr		P	Wood	N/A	0.2	QM
035	D	Door	Rgt	Lft jamb	P	Wood	N/A	0.1	QM
034	D	Door	Rgt	U Ctr	P	Wood	N/A	0.0	QM

Comment:
First Floor

Interior Room 007 Office

038	B	Wall	U Ctr		P	Dry wall	N/A	0.0	QM
039	C	Wall	U Ctr		P	Dry wall	N/A	-0.2	QM
037	D	Ceiling	Ctr		P	Dry wall	N/A	0.5	QM

Comment:
First Floor

Interior Room 008 Kitchen

041	C	Wall	U Ctr		P	Dry wall	N/A	-0.3	QM
040	D	Wall	U Ctr		P	Dry wall	N/A	-0.2	QM
042	D	Door	Rgt	U Ctr	P	Wood	N/A	-0.1	QM

Comment:
First Floor

Interior Room 009 Office

043	A	Wall	U Lft		P	Dry wall	N/A	-0.1	QM
044	C	Wall	U Rgt		P	Dry wall	N/A	-0.1	QM
045	D	Door	Lft	Header	P	Wood	N/A	0.0	QM
046	D	Door	Lft	Rgt jamb	P	Metal	N/A	-0.1	QM

Comment:
First Floor

Interior Room 010 Bathroom

048	A	Wall	U Lft		P	Dry wall	N/A	-0.1	QM
051	B	Door	Lft	Rgt jamb	P	Metal	N/A	-0.1	QM
050	B	Door	Lft	U Ctr	P	Wood	N/A	-0.3	QM
049	C	Wall	U Lft		P	Dry wall	N/A	-0.2	QM
047	D	Wall	U Lft		P	Dry wall	N/A	-0.2	QM

Comment:
First Floor

Interior Room 011 Stairs

052	A	Wall	U Ctr		P	Concrete	N/A	0.0	QM
053	C	Wall	U Ctr		P	Concrete	N/A	0.2	QM
056	C	Door	Ctr	Rgt jamb	P	Metal	N/A	0.0	QM
055	C	Door	Ctr	U Ctr	P	Metal	N/A	-0.1	QM
054	C	Railing	Ctr	Railing	P	Metal	N/A	-0.4	QM

Interior Room 012 Hallway

058	B	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
061	B	Wall	U Ctr		P	Dry wall	N/A	0.0	QM
060	B	Door	Ctr	Lft jamb	P	Wood	N/A	-0.1	QM
059	B	Door	Ctr	U Ctr	P	Wood	N/A	-0.2	QM
057	C	Wall	U Ctr		P	Dry wall	N/A	0.0	QM
062	D	Wall	U Ctr		P	Dry wall	N/A	0.0	QM
064	D	Door	Ctr	Rgt jamb	P	Metal	N/A	-0.1	QM
066	D	Door	Ctr	Rgt jamb	P	Metal	N/A	-0.2	QM
063	D	Door	Ctr	U Ctr	P	Wood	N/A	-0.3	QM
065	D	Door	Ctr	U Ctr	P	Wood	N/A	-0.1	QM

Comment:
Second Flr

Interior Room 013 Lounge

067	A	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
068	B	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
073	B	Door	Ctr	Lft jamb	P	Metal	N/A	0.0	QM
072	B	Door	Ctr	U Ctr	P	Wood	N/A	-0.3	QM
069	C	Wall	U Ctr		P	Dry wall	N/A	-0.2	QM
071	D	Cabinet	Ctr		P	Wood	N/A	-0.2	QM
070	D	Wall	U Ctr		P	Dry wall	N/A	0.0	QM

Comment:
Second Flr

Interior Room 014 Bathroom

076	A	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
074	B	Wall	U Ctr		P	Dry wall	N/A	0.1	QM
075	C	Wall	U Ctr		P	Dry wall	N/A	0.2	QM
077	D	Wall	U Ctr		P	Dry wall	N/A	-0.2	QM
079	D	Door	Ctr	Lft jamb	P	Metal	N/A	-0.1	QM
078	D	Door	Ctr	U Ctr	P	Wood	N/A	-0.3	QM

Comment:
Second Flr

Interior Room 015 Mail Room

080	A	Wall	U Ctr		P	Dry wall	N/A	-0.4	QM
081	B	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
082	C	Wall	U Ctr		P	Dry wall	N/A	-0.1	QM
084	C	Closet	Ctr	Door	P	Wood	N/A	-0.1	QM
085	C	Closet	Ctr	Door Jamb	P	Wood	N/A	-0.2	QM
086	C	Closet	Ctr	Shelf	P	Wood	N/A	0.0	QM

2929 Waterford Drive, Deerfield Beach, FL 33442 Office (954) 298-8243 Fax (954) 426-5310

Email – kim@leadtestingconsultants.com Web – www.leadtestingconsultants.com

083 D Wall U Ctr P Dry wall N/A -0.1 QM
 Comment:
 Second Flr

Interior Room 016 Records Rm

087 A Wall U Ctr P Dry wall N/A -0.1 QM
 088 B Wall U Ctr P Dry wall N/A -0.1 QM
 096 B Door Lft Rgt jamb P Metal N/A -0.1 QM
 095 B Door Lft U Ctr P Wood N/A 0.0 QM
 089 C Wall U Ctr P Dry wall N/A -0.3 QM
 090 D Wall U Ctr P Dry wall N/A -0.1 QM
 091 D Column Ctr P Concrete N/A -0.3 QM
 092 D Closet Ctr Door P Wood N/A 0.0 QM
 093 D Closet Ctr Door Jamb P Metal N/A -0.1 QM
 094 D Closet Ctr Shelf P Wood N/A -0.1 QM

Comment:
 Second Flr

Interior Room 017 Board Rm

097 A Wall U Lft P Dry wall N/A 0.3 QM
 101 A Closet Lft Door P Wood N/A 0.0 QM
 102 A Closet Lft Shelf P Wood N/A -0.2 QM
 098 C Wall U Lft P Dry wall N/A -0.2 QM
 099 D Wall L Lft P Dry wall N/A -0.2 QM
 100 D Ceiling Lft P Dry wall N/A 0.0 QM

Comment:
 Second Flr

Interior Room 018 Administrat

103 A Wall U Ctr P Dry wall N/A -0.1 QM
 104 B Wall L Ctr P Dry wall N/A 0.0 QM
 105 C Wall U Ctr P Dry wall N/A -0.1 QM
 106 D Wall U Ctr P Dry wall N/A -0.1 QM
 108 D Door Ctr Lft jamb P Metal N/A 0.0 QM
 107 D Door Ctr U Ctr P Wood N/A -0.2 QM

Calibration Readings

001 0.8 TC
 002 0.8 TC
 003 0.8 TC
 118 1.2 TC
 119 1.3 TC
 120 1.1 TC

---- End of Readings ----

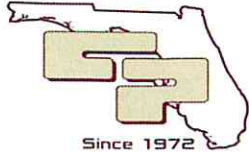
AN APPRAISAL OF
**THE OFFICE BUILDING
LOCATED AT
2600 BROADWAY IN
RIVIERA BEACH, FLORIDA**

FILE NUMBER: 18-77930

PREPARED FOR
RIVIERA BEACH COMMUNITY REDEVELOPMENT AGENCY

AS OF
JUNE 18, 2018

BY
ROBERT A. CALLAWAY, MRICS
CALLAWAY & PRICE, INC.



Callaway & Price, Inc.

Real Estate Appraisers and Consultants

Licensed Real Estate Brokers

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June 26, 2018

Mr. Scott Evans
Executive Director
Riviera Beach Community Redevelopment Agency
2001 Broadway, Suite 300
Riviera Beach, FL 33404

Our File No.: 18-77930

Dear Mr. Evans:

We have made an investigation and analysis of the office building located at 2600 Broadway in the City of Riviera Beach, Florida. The Subject Property will be further described both narratively and legally within the Appraisal Report. The purpose of this investigation and analysis was to provide our opinion of the Market Value of the Fee Simple Estate of the Subject Property as of June 18, 2018.

This report has been prepared for our client and intended user, Riviera Beach Community Redevelopment Agency. The intended use is for internal decision making related to the possible acquisition of the property. The scope of work performed is specific to the needs of the intended user and the intended use. No other use is intended, and the scope of work may not be appropriate for other uses.

The scope of work performed included a complete analysis of the Subject Property. A detailed scope of work description can be found in the body of this report.

Mr. Scott Evans
Riviera Beach Community Redevelopment Agency
June 26, 2018
Page Two

Based upon the scope of the assignment, our investigation and analysis of the information contained within this report, as well as our general knowledge of real estate valuation procedures and market conditions, it is our opinion that:

The Market Value of the
Fee Simple Estate of the
Subject Property, "as is", as of
June 18, 2018, was:

\$2,000,000

A description of the property appraised, together with an explanation of the valuation procedures utilized, is contained in the body of the attached report. For your convenience, an Executive Summary follows this letter. Your attention is directed to the Limiting Conditions and underlying assumptions (especially Nos. 11 through 14) upon which the value conclusions are contingent.

Respectfully submitted,

CALLAWAY & PRICE, INC.



Robert A. Callaway, MRICS
Cert Gen RZ2461



James D. Murray, Jr., MAI
Cert Gen RZ2419

MRS/JDM/js/18-77930
Attachments

**APPRAISAL OF
A SINGLE USER OFFICE BUILDING
LOCATED AT
2600 BROADWAY
RIVIERA BEACH, FLORIDA 33404**

FOR

**SHERLEY DESIR, SENIOR ADMINISTRATIVE ASSISTANT
RIVIERA BEACH CRA**

BY

**ROBERT B. BANTING, MAI, SRA
CERT GEN RZ4**

AND

**KEVIN C. DORAN
CERT GEN RZ3345**

WITH

**ANDERSON & CARR, INC.
521 SOUTH OLIVE AVENUE
WEST PALM BEACH, FLORIDA 33401**

**DATE OF INSPECTION: MAY 15, 2018
DATE OF REPORT: MAY 21, 2018
DATE OF VALUE: MAY 15, 2018**

**FILE NO.: 2180233.000
CLIENT REFERENCE: 2600 BROADWAY**



May 21, 2018

Ms. Sherley Desir
Senior Administrative Assistant
Riviera Beach CRA
2001 Broadway, Suite 300
Riviera Beach, FL 33404

Dear Ms. Desir:

Pursuant to your request, we have personally appraised the real property being a two-story 25,662 square foot former bank building situated on a 38,492 square foot site. The subject property is located on the northeast corner of Broadway and East Blue Heron Boulevard in Riviera Beach, Florida. The property address is 2600 Broadway, Riviera Beach, FL, 33404.

The purpose of this narrative appraisal is to estimate the market value of the fee simple estate of the subject property as of May 15, 2018. The intended use of the report is to assist the client and intended user in acquisition by a public agency. This report has been prepared for no other purpose and for use by no other person or entity than for use by the client for the purpose stated herein. Any other use of this appraisal is considered a misuse and thus the appraisers will not be held responsible for any outcome associated with use by another entity or for another purpose.

The subject property is currently listed for sale by the owner for an undisclosed asking price. At the time of inspection, the subject was vacant and has reportedly been vacant for the past five or more years. The owner stated that he has had various offers including doing a long term ground lease to a credit tenant as well as an offer by a national developer with a government (law enforcement) tenant to use the building subject to renovations/modifications. All offers are reportedly subject to removal of a moratorium on site plan reviews for Blue Heron and Broadway within the city.



Sherley Desir
Page 2
May 21, 2018

We have utilized the sales comparison approach to value, the most common method used for valuing properties such as the subject property.

As a result of our analysis, we have developed an opinion that the market value of the fee simple estate (as defined in the report), subject to the definitions, certifications, and limiting conditions set forth in the attached report, as of May 15, 2018 was:

MARKET VALUE: **\$2,200,000**

The following presents our analysis and conclusions in a narrative appraisal report. This letter must remain attached to the report, which contains 60 pages plus related exhibits, in order for the value opinion set forth to be considered valid. Your attention is directed to the General Limiting Conditions contained within this report.

Respectfully submitted,

ANDERSON & CARR, INC.



Robert B. Banting, MAI, SRA
Cert Gen RZ4



Kevin C. Doran
Cert Gen RZ3345

RBB/KCD:cmp



ARCHITECTURAL AND ENGINEERING CONSULTANTS

December 15, 2014

Mr. Robert J. Sullivan
Manager
URBAN REALTY PARTNERS, LLC
C/O RJS REALTY
11811 U.S. Highway 1 Suite 101
North Palm Beach, FL 33408

Re: **PROPERTY EVALUATION REPORT**
BLUE HERON & BROADWAY
Riviera Beach, Florida
LM Project No. 4491.003

Dear Mr. Sullivan:

Thank you for your consideration of LM Consultants, Inc. in performing the professional consulting services.

Enclosed please find our Property Evaluation Report for the referenced property, with captioned color photo images of the conditions observed at the time of our visit.

If there are any questions concerning anything contained in the Report, or if we can be of further assistance, please contact our Corporate office at (847) 573-1717.

Sincerely,

LM CONSULTANTS, INC.

Chuma A. Cos-Okpalla

Chuma A. Cos-Okpalla, PE, Ph.D.
Principal Engineer
chuma_cos-okpalla@lmconsultants.com

CAC/NSS/kjp

Encl.: Property Evaluation Report

LM CONSULTANTS, INC.

36 SOUTH WHITNEY STREET, GRAYSLAKE, IL 60030

TEL: 847-573-1717 FAX: 847-573-9737 TOLL FREE: 1-888-431-1457 WEBSITE: WWW.LMCONSULTANTS.COM
ATLANTA ▼ CHICAGO ▼ DALLAS ▼ DENVER ▼ LOS ANGELES ▼ NEW YORK



ARCHITECTURAL AND ENGINEERING CONSULTANTS

PROPERTY EVALUATION REPORT

PROPERTY NAME: Blue Heron & Broadway

PROPERTY LOCATION: 2600 Broadway
Riviera Beach, Florida

CLIENT: Urban Realty Partners, LLC
c/o RJS Realty

LM PROJECT NO.: 4491.003

DATE OF OBSERVATION: December 11, 2014

OBSERVATION BY: Chuma A. Cos-Okpalla, Professional Engineer

REPORT REVIEWED BY: Nicholas S. Sullivan, Licensed Architect

REPORT ISSUE DATE: December 15, 2014

SITE CONTACT: Bob Sullivan, RJS Realty

PROJECT DOCUMENTS: Plat of Survey

ATTACHMENTS: Location Map
Site Plan
Second Floor Plan
Code Check Request and Response Record
CBCInnovis Flood Hazard Determination
Photographs

LM CONSULTANTS, INC.

36 SOUTH WHITNEY STREET, GRAYSLAKE, IL 60030

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EXECUTIVE SUMMARY

PROPERTY DESCRIPTION

The subject property consists of a two-story, 26,000-square-foot office building. The property is located northeast of the intersection of Broadway and East Blue Heron Boulevard in Riviera Beach, Florida. The building is currently vacant and was formerly occupied by a local retail bank.

The building was constructed in approximately 1961.

PROCEDURES AND LIMITATIONS

The investigation and resulting Report were prepared in accordance with the Agreement for Property Evaluation Services between the Client and LM Consultants, Inc. The findings contained in this Report are based on the conditions visually observed at the time of our site visit. No samples were taken, no tests were performed, no equipment was operated, and no construction materials were removed to inspect underlying structure or systems. The findings of the investigation and Report are not intended to warrant or guarantee the performance of any property component or system. Conditions often change with the passage of time. This evaluation and Report were prepared for the exclusive use of the Client.

PROPERTY CONDITION/COST ESTIMATE TO CORRECT

Based upon our on-site observations, the property improvements were found to be in generally fair condition for a development of this type and age, especially considering that the building has been vacant for nearly five years. There were, however, conditions observed at the time of our site visit that require repair and/or replacement. Major issues include aged roof, inoperative heating and cooling systems, deteriorated interior finishes, suspected asbestos-containing materials and mold growth, deteriorating window units, overgrown landscaping materials, aged elevator, and faded exterior wall paint.

A listing of these and other noted conditions are outlined within the *Property Condition* section of this Report. A summary of the estimated costs for the noted conditions that are considered to require repair/replacement within the next year is as follows:

	Immediate	Recommended
Code Compliance/Life Safety Issues Subtotal	\$150.00	\$0.00
ADA Barrier Removal Issues Subtotal	\$9,450.00	
Deferred Maintenance/Property Deficiency Subtotal	\$889,100.00	
Cost Estimate Total	\$898,700.00	\$0.00

See the *Replacement Reserve Schedule* for anticipated future capital repair/replacement costs.

MAINTENANCE

Based upon our on-site observations, the maintenance procedures are considered below average for a development of this type and age. Routine maintenance procedures have not been performed over the past five years, as the building remained unoccupied; as a result, there is an accumulation of deferred maintenance issues. Maintenance procedures will need to be established, continued, and enhanced as the development continues to age.

CODE COMPLIANCE/LIFE SAFETY

We contacted the City of Riviera Beach Building and Fire Departments by email at 'crobinson@rivierabch.com' to determine the status of open code violations. No response has been received. At the time of our site visit, we observed conditions that, in our opinion, are code violations or life safety issues. Descriptions of these conditions and associated cost estimates to remedy these conditions are contained in the *Property Condition* section of this Report.

ADA TITLE III

The building was designed and constructed prior to the effective date of the Americans with Disabilities Act (ADA). Based upon our on-site observations, there are barrier removal issues that should be addressed for compliance with the ADA Accessibility Guidelines. These conditions are outlined in the *Property Condition* section of this Report.

CONCLUSIONS

Based upon our on-site observations, the property is considered to be in generally poor condition when compared with developments of similar type and age. The routine maintenance procedures have not been performed over the past five years, as the building remained unoccupied; as a result, there is an accumulation of deferred maintenance issues. There were, however, code compliance, ADA accessibility, and deferred maintenance/physical condition issues noted at the time of our site visit. Major issues include aged roof, inoperative heating and cooling systems, deteriorated interior finishes, suspected asbestos-containing materials and mold growth, deteriorating window units, overgrown landscaping materials, aged elevator, and faded exterior wall paint.

We recommend further investigation to verify if there are asbestos containing materials incorporated into the building, as well as the presence of mold. These conditions typically require special abatement to remove the ACM should there be need for demolition, re-construction, or renovation of the building.

Please refer to the *Property Condition* section of this Report for additional information.

PROPERTY DESCRIPTION

SITE

LOCATION AND SIZE:

The property is located northeast of the intersection of Broadway and East Blue Heron Boulevard in Riviera Beach, Florida.

According to the Boundary Survey prepared by Wallace Surveying Corporation and dated December 2, 2014, the site contains approximately 0.802 acres, or 38,924 square feet.

ADJACENT PROPERTY USES:

The site is bound by East 27th Street along the north side, Broadway along the west side, East Blue Heron Boulevard along the south, and strip retail development to the east. Commercial developments were noted beyond the public streets at the east and south sides. At the north side beyond East 27th Street, single-family buildings were noted.

TOPOGRAPHY:

The site is generally flat and is graded gently towards the north, south, and west sides.

FLOOD PLAIN STATUS:

CBCInnovis Flood Hazard Determination No. 14120509351152, dated December 5, 2014, indicates that, per FEMA Flood Insurance Rate Map No. 125142003 D revised September 30, 1982, the building is located in Flood Zone C, in minimal risk areas outside the 1-percent and .2-percent-annual-chance floodplains. No BFEs or base flood depths are shown within these zones.

ACCESS:

Vehicular access to the site is provided from two access points at the north side of the site, and one access point each on the west and south sides of the site bordering public streets. The north side access is located near the northeast corner and connects to a driveway which extends south to the access point located near the southeast corner. The west access point from Broadway provides access to the parking spaces located below the north portion of the building.

PARKING:

Parking is provided in surface lot along the north and east sides of the site and in the underbuilding lot located below the 2nd floor of the north portion of the building.

The following information was noted relative to the parking:

- ▲ Total Number of Parking Spaces:
Parking for a total of 46 automobiles is provided.
- ▲ Number of Accessible Stalls:
There are two parking spaces reserved for users with disabilities. A van-accessible space is not provided.

- ▲ Spaces per 1,000 sf:
Approximately 1.77 spaces are provided per 1,000 square feet of the building area.
- ▲ Number of Surface Lot Spaces:
There are 19 surface parking spaces.
- ▲ Number of Garage Spaces:
There are no garage spaces.
- ▲ Number of Carport Spaces:
There are 26 spaces in the parking area below the north portion of the building.

PAVEMENT CONSTRUCTION:

- ▲ Drives and Parking Areas:
Asphaltic concrete pavement is provided at the parking lots and driveways. Information regarding the construction details were not provided.
- ▲ Aprons:
Portland cement concrete aprons are provided at the access points. Information regarding the construction details was not provided.
- ▲ Dumpster Pads:
A dumpster pad is not provided on site.

CURBS/WHEELSTOPS:

Portland cement concrete curbs are provided along edges of the parking lot and driveway pavements. Precast concrete wheelstops are provided at some of the parking spaces.

SIDEWALKS:

Sidewalks are provided along the public streets on the south and west sides of the site. Information regarding the construction details was not provided.

UTILITY SERVICE COMPANIES:

- ▲ Water: City of Riviera Beach Utility District
- ▲ Sanitary Sewer: City of Riviera Beach Utility District
- ▲ Storm Sewer: City of Riviera Beach Utility District
- ▲ Electricity: Florida Power and Light
- ▲ Natural Gas: No provided at the site.
- ▲ Telephone: Information was not provided.
- ▲ High-speed Internet: Information was not provided.

RETENTION/DETENTION BASINS:

There are no retention or detention basins on site.

STORM SEWER SERVICE:

Storm sewer consists of surface sheet flow to adjacent streets along the north, south, and west sides of the site. An inlet structure is provided at the north portion of the site. Also, two lawn area inlet structures are noted at the west side of the site. Information regarding the connection of the underground laterals was not provided.

SANITARY SEWER SERVICE:

Information regarding sanitary sewer service is not provided.

WATER SERVICE:

- ▲ Size and Location:
Water service to the site was not observed.
- ▲ Backflow Preventers:
A backflow preventer was not observed.
- ▲ Fire Hydrants:
Fire hydrants are provided along the public streets.

ELECTRIC SERVICE:

- ▲ Primary:
Primary electric service appears to extend underground to the site from an overhead utility pole on the west side of the site.
- ▲ Transformers:
Transformers are provided in a utility vault in the mechanical mezzanine in the west portion of the building.
- ▲ Meters:
The building is bulk metered. The service meter is located in the mechanical mezzanine in the west portion of the building.

GAS SERVICE:

Natural gas is not provided at the site.

TELEPHONE SERVICE:

Telephone service appears to extend underground to the site from an overhead utility pole on the west side of the site.

SITE LIGHTING:

- ▲ Fixture Types:
Site lighting is provided by building-mounted wall packs, recessed soffit fixtures on roof eaves and soffit-mounted fixtures at the 2nd floor projects and in the parking area below the north portion of the building. A two-head fixture mounted on approximately 20'-high metal pole is provided in the northeast portion of the site. Generally, high-intensity discharge lamps or compact fluorescent lamps are provided in the fixtures.
- ▲ Lighting Controls:
Site lighting is controlled by a combination of photocells and time clocks. The time clocks are located in the mezzanine in the west portion of the building. Photocells are mounted on the façades of the building.

FENCING:

Fencing is not provided at the site.

RETAINING WALLS:

A 12" to 18"-high concrete retaining wall is provided at the north side of the site near the northeast corner.

TRASH DUMPSTER ENCLOSURES:

A dumpster enclosure is not provided.

LANDSCAPING:

Landscaping consists of overgrown shrubbery and palms installed on grass areas around the portions of the perimeter of the building.

LAWN IRRIGATION SYSTEM:

An automatic irrigation system is provided at the landscape areas.

IDENTIFICATION SIGNAGE:

A grade-mounted monument sign is provided at the southwest corner of the site. Also, wall-mounted illuminated signs are provided on east side of the building.

SITE AMENITIES/SPECIAL FEATURES:

There are no site amenities or special features.

BUILDING

GENERAL:

The building is a two-story structure encompassing approximately 26,000 square feet. The building appears to have been designed as two structures building side by side.

The north wing is two stories high with open 1st floor space that provides covered parking for 26 automobiles. On the 2nd floor, office spaces, one men's and one women's toilet rooms, and boardroom are provided. A stairway with cast-in-place concrete stair is provided in an isolated boxed structure at the northwest corner.

The south building has two stories and contains offices and banking hall in the 1st floor and offices on the 2nd floor. The south wing is provided with three entrances: a double-door storefront entry system is provided on the north side through the covered parking area, and on the south side through stepped entrance from Blue Heron Boulevard. A third single-door storefront system is provided on the east side. Each door provides access to the 1st floor banking hall. A traction elevator and a stair are provided in the north entrance vestibule. A second stair is provided in the south portion near the south entry door. One men's and one women's toilet rooms are provided in the north portion of the 1st floor. On the 2nd floor, one men's and one women's toilet rooms are provided. A mechanical mezzanine is provided in the west portion of the south wing.

FOUNDATIONS:

Information regarding the foundation of the building is not provided.

GROUND FLOOR CONSTRUCTION:

Concrete slab-on-grade is provided. Details of the slab construction was not provided.

STRUCTURAL FRAMING:

- ▲ Exterior Walls:
Generally, precast concrete walls are provided.
- ▲ Interior Framework:
Structural steel columns supporting steel truss girders were noted.
- ▲ Suspended Floor Construction and STC Ratings:
Suspended floors appear to be poured-in-place concrete floors. Information regarding the sound transmission coefficient rating is not provided.
- ▲ Roof Framing and Decking:
Roof framing consist of steel trusses and joists supporting insulated sandwich panels.
- ▲ Fire Proofing:
Fire proofing was not observed on the exposed steel members.

PLAN DIMENSIONS/BAY SPACING/FLOOR-TO-FLOOR HEIGHTS:

The building has out-to-out plan dimensions of 150.9' by 125.3'. Typical bay spacings and floor-to-floor heights are unknown.

DESIGN LIVE LOADS:

Information regarding design live loads is not provided.

EXTERIOR WALL CONSTRUCTION/DETAILING:

Exterior walls were noted to consist of precast concrete walls with areas of exposed aggregate, painted surface, ceramic mosaic tile finish, and patterned finish as well as areas of brick masonry. The walls appear to be furred with gypsum board finish or exposed exterior wall finish on the inside.

ROOFING:

- ▲ **Roofing System Type:**
Roofing consists of low-slope built-up membrane roof with exposed aggregate surfacing.
- ▲ **Skylights/Accessories:**
Skylights are not provided. Painted metal fascia bands are provided at the edges of the roof areas with eaves. Painted cement plaster soffits are provided.
- ▲ **Roof Drains/Gutters:**
The north wing roof has three interior roof drains. At the south wing roof, two interior roof drains and two through-wall scupper-type drain are provided. The scuppers connect to metal downspouts which discharge at grade. The interior drains have cast iron leaders that appear to extend to below-grade storm sewer system.

CANOPIES AND OVERHANGS:

Canopies are not provided. However, overhangs were noted at portions of the roof areas as well as over portion of the 1st floor at the east and south sides of the south wing of the building. The construction of the overhangs is generally contiguous with the building.

WINDOWS AND STOREFRONT:

Ribbon-style windows are generally provided. At the entrances, storefront system are provided. The windows and storefronts are aluminum-framed units with fixed tinted glazing.

ENTRANCE VESTIBULES/DOORS:

At the entrances, aluminum-framed storefront system is provided. Secondary exit doors have painted metal doors set in painted hollow metal frames.

STAIR CONSTRUCTION/NUMBER/ENCLOSURES:

Generally, three stairs are provided in the building. A stairway with cast-in-place concrete stair is provided in an isolated boxed structure at the northwest corner of the north wing. Metal railing is provided at the edges of the stair well. The stair enclosure appears to be concrete walls.

The south wing has two stairs. A stair is provided in the north entrance vestibule of the south wing. A second stair is provided in the south portion near the south entry door. The stairs are covered with carpet finish but appears to be constructed of cast-in-place concrete. The stair enclosures appear to be painted gypsum board over unknown backing. The north stair is provided with wood handrails on each side. The south stair has metal handrail on the wall side and metal railing along the stairwell.

A metal-frame stair is provided for access to the mechanical mezzanine level.

DOCK/DELIVERY AREAS:

Dock or delivery areas are not provided.

DEMISING WALLS:

Interior walls are generally gypsum board on each side of metal stud framing.

LOBBY FINISHES:

- ▲ Walls:
Wall finishes include painted gypsum board and vinyl wall covering.
- ▲ Floors and Base:
Floors have ceramic tile and carpet finishes with vinyl cove base.
- ▲ Ceilings and Heights:
Ceilings are painted cement plaster on the 1st floor at 11'-4" height and 2'x2' acoustical tile ceiling set in metal grids at 9'-1" height.
- ▲ Lighting:
Lighting consists of recessed acrylic-dome diffuser fixtures with T12 fluorescent lamps or 2'x4' lay-in florescent lamp fixtures with T12 fluorescent lamps with flat acrylic diffusers.
- ▲ Entrance Doors/Frames/Hardware:
Entrance doors are aluminum-framed storefront entry system with keyed deadbolt, aluminum threshold, overhead door closer, and egress system.

CORRIDOR FINISHES:

- ▲ Walls:
Wall finishes include painted gypsum board and vinyl wall covering.
- ▲ Floors and Base:
Floors have ceramic tile and carpet finishes with vinyl cove base.
- ▲ Ceilings and Heights:
Ceilings are painted cement plaster on the 1st floor at 11'-4" height and 2'x2' acoustical tile ceiling set in metal grids at 9'-1" height.
- ▲ Lighting:
Lighting consists of 2'x4' lay-in florescent lamp fixtures with T12 fluorescent lamps and flat acrylic diffusers.
- ▲ Office Space Doors/Frames/Hardware:
Office space doors are generally painted solid-core metal flush doors set in painted metal frames with knob-type mortise lockset, or aluminum-frame storefront entry system with keyed knob- or lever-type lockset.

OFFICE SPACE FINISHES:

- ▲ Walls:
Wall finishes include painted gypsum board and vinyl wall covering.
- ▲ Floors and Base:
Floors have ceramic tile and carpet finishes with vinyl cove base.

▲ Ceilings and Heights:

Ceilings are painted cement plaster on the 1st floor at 11'-4" height and 2'x2' acoustical tile ceiling set in metal grids at 9'-1" height.

▲ Lighting:

Lighting consists of 2'x4' lay-in florescent lamp fixtures with T12 fluorescent lamps and flat acrylic diffusers.

▲ Office Space Doors/Frames/Hardware:

Office space doors are generally painted solid-core metal flush doors set in painted metal frames with knob-type mortise lockset, or aluminum-frame storefront entry system with keyed knob- or lever-type lockset.

▲ Window Treatments:

Window treatments consist of 1"-wide horizontal mini blinds.

TOILET ROOMS:

▲ Number. of Toilet Rooms:

The 2nd floor of the north wing has one men's and one women's toilet rooms. The south building has one men's and one women's toilet rooms in the north portion of the 1st floor and one men's and one women's toilet rooms on the 2nd floor.

▲ Number of Fixtures:

<u>Office Area Men's:</u>		<u>Office Area Women's:</u>	
1	Regular Water Closet	1-2	Regular Water Closets
1	HC Water Closet	1	HC Water Closet
1-2	Sink Bowls	1-3	Sink Bowls
1-2	Urinals		
1	HC Urinal		

▲ Toilet Room Finishes:

- Walls: Painted gypsum board, vinyl wall covering, or ceramic tile is provided.
- Floors and Base: Ceramic tile floors and bases are provided.
- Ceilings and Height: Acoustical tile ceiling installed at 8' to 9' heights is provided.
- Lighting: Wall-mounted vanity lights or 2'x4' lay-in florescent lamp fixtures with T12 fluorescent lamps and flat acrylic diffusers are provided.
- Partitions: Floor-mounted laminate partitions or gypsum board walls are provided.
- Water Closets: Floor-mounted vitreous china water closets with elongated bowls are provided with flush tanks or manual flush valves.
- Urinals: Wall-mounted vitreous china urinals are provided with manual flush valves.
- Lavatories/Sinks: Wall-mounted vitreous china sinks or self-rimming vitreous china sinks equipped with faucets with twist-type valve controls are provided.
- GFCI Receptacles: GFCI-protected power receptacles are not provided

▲ Water Coolers:

Wall-mounted water coolers are generally provided.

ELEVATOR:

	Passenger
▲ Number:	One (1)
▲ Manufacturer:	Otis
▲ Type:	Traction
▲ Capacity and Speed:	2,000 pounds. Speed is unknown.
▲ Floors Served:	All floors.
▲ Door Type:	Side opening single door.
▲ Door and Frame Finishes:	
• Lobby Level:	Painted metal door and stainless steel frame.
• Typical Floor Levels:	Painted metal door and frame.
▲ Cab Finishes:	
• Walls:	Laminate panels.
• Fronts:	Laminate panel.
• Ceilings:	Honeycomb acrylic diffuser.
• Lighting:	T12 florescent lamps.
• Floors:	Tongue and groove wood flooring.
• Rails:	Flat bar stainless steel on the rear.
• Controls:	Single front control. No fireman recall button.

HVAC:

▲ General System Description:

A central system consisting of two rooftop packaged chiller units are provided. Each chiller unit is provided with a 5-hp chilled water pump. The units provide cooling in the spaces through two packaged air-handling units and intermediate suspended fan coil terminal units with or without attached electric duct heaters.

▲ Air Distribution:

Air distribution is provided by ducted supply and return paths.

▲ Temperature Control System:

Thermostats are wall-mounted analog types.

▲ Toilet Exhaust System:

Each toilet room is provided with roof-mounted exhaust fan system. Information regarding the capacities is not provided.

ELECTRICAL:

The building was noted to have master metering.

- ▲ Main Services:
A 600-volt, 3-phase, 4-wire, 1,200-ampere service is provided.
- ▲ Power Feeders to Circuit Breakers:
Power feeders were not observed.
- ▲ Branch Wiring:
Branch wiring is copper.
- ▲ Exit Signs:
Exit signs are hardwired with battery backup.
- ▲ Emergency Lighting:
Emergency lighting fixtures are provided with hardwiring and battery backup.
- ▲ Emergency Power:
Emergency power system is not provided.

PLUMBING:

- ▲ Domestic Piping Material:
Domestic piping materials was noted to be copper above ground. Below ground piping material is unknown.
 - Water Booster Pump Unit: A water booster pump unit was not observed.
- ▲ Domestic Water Heaters:
Generally, 30-gallon electric water heaters are provided for the toilet rooms.
- ▲ Metering:
Water service is bulk metered.
- ▲ Sanitary and Waste Piping:
Sanitary and waste piping material is cast iron.
- ▲ Storm Drain Piping:
Storm drain piping is cast iron.
- ▲ Gas Piping:
Gas service is not provided.

FIRE PROTECTION AND LIFE SAFETY:

- ▲ Fire Suppression System:
Fire suppression system is not provided in the building. However, dry chemical powder fire extinguishers are provided in recessed wall panels.
- ▲ Fire Alarm System:
 - Fire Alarm Control Panel: A Fire Lite Model MS 9200 addressable fire alarm control panel is provided near the ground floor toilet room hallway in the north portion of the 1st floor.
 - Fire Alarm Annunciator Panels: A fire alarm annunciator panel is not provided.
 - Space Smoke Detectors: Hardwired smoke detectors which are connected to the fire alarm control panel are provided.

- Audible/Visual Fire Alarms: Alarm devices with strobes and horns are provided.
 - Heat Detectors: Heat detectors were not observed.
 - Pull Stations: Manual pull stations are provided at exit locations.
 - Local Alarms: Local alarms are provided by smoke detectors.
 - Remote Connections: The fire alarm control panel is connected to a third party monitoring agency.
 - Elevator Recall Feature: Elevator recall feature is not provided.
- ▲ Emergency Lighting:
Emergency lighting fixtures are provided with hardwiring and battery backup.
- ▲ Emergency Power:
Emergency power system is not provided.

SECURITY SYSTEMS:

- ▲ Entrance Access/Intercom Systems:
Entrance access and intercom systems are not provided.
- ▲ Key Card:
Key card system is not provided.
- ▲ Closed Circuit TV (CCTV):
CCTV system with exterior and interior-mounted cameras were noted.
- Monitors: A monitoring station or recording media for the CCTV system as not observed.
- ▲ Door Contacts:
Door contacts are provided in some locations.
- ▲ Office Space Entrance Lock Type:
Knob-type and lever-type mortise locksets are provided.

SPECIAL EQUIPMENT:

- ▲ Bank Vault:
A bank vault is provided in the west portion of the 1st floor in the south wing.
- ▲ Safe Deposit Boxes:
Safe deposit boxes and cabinets are provided in the building.

PROPERTY CONDITION

Conditions were observed at the time of our site visit that have been categorized as Code Compliance/Life Safety Issues, ADA Barrier Removal Issues, or Deferred Maintenance/Physical Condition Issues.

CODE COMPLIANCE/LIFE SAFETY ISSUES

At the time of our site visit, we observed conditions that were considered code violations or life safety issues. These items and the cost estimates to correct are listed in the charts on the following pages.

ADA BARRIER REMOVAL ISSUES

The building was designed and constructed prior the effective date of the Americans with Disabilities Act (ADA). There are portions of the property that, in our opinion, require barrier-free access as defined by Title III of the ADA. As part of this property evaluation, attempts have been made to identify the basic barrier removal issues. This evaluation is not intended to serve as a comprehensive ADA survey. In addition, changes in building occupancy and use can result in the need to eliminate barriers. At the time of our site visit, we observed conditions that are considered barrier removal issues. These items and cost estimates to remove the barriers, as may be readily achievable, are listed in the charts on the following pages.

DEFERRED MAINTENANCE/PHYSICAL CONDITION ISSUES

There were deferred maintenance and physical condition issues noted that require repairs and/or replacements. These items and cost estimates to correct are listed in the charts on the following pages.

Code Compliance/Life Safety Issues:

No.	Item	Quantity	Units	Unit Cost	Required Immediate Cost	Recommended Cost
1.0	Power Receptacle: Missing cover on the exterior power receptacle was noted (see Photo No. P15). Also, a GFCI-type receptacle was not observed.	1	ls	\$150.00	\$150.00	
Code Compliance/Life Safety Subtotal					\$150.00	\$0.00

ADA Barrier Removal Issues:

No.	Item	Quantity	Units	Unit Cost	Immediate Cost
1.0	Parking for approximately 46 automobiles is provided. There are currently two parking spaces reserved for disabled users. Section 4.1.2 of the ADAAG requires a minimum of two barrier-free parking spaces in parking lots with 26–50 parking spaces. A van-accessible space is not provided.				
1.1	Installation of appropriate signage and pavement markings for access aisle for one van-accessible space is considered necessary.	1	ea	\$450.00	\$450.00
2.0	Modification of one of men's and women's toilet rooms on the 2nd floor to meet current accessibility standards is recommended.	2	ea	\$4,500.00	\$9,000.00
ADA Barrier Removal Subtotal					\$9,450.00

Deferred Maintenance/Property Deficiency Issues:

No.	Item	Quantity	Units	Unit Cost	Immediate Cost
Site:					
1.0	Asphalt Pavement: The asphalt pavement was noted to be in fair condition with areas of cracking and surface deterioration (see Photo No. P7 - P9).				
1.1	Crackfilling of the pavement is recommended.	1	ls	\$500.00	\$500.00
1.2	Sealcoating and re-stripping of the parking spacing is recommended.	22,000	sf	\$0.30	\$6,600.00
2.0	Concrete Sidewalk: Sidewalks were noted to be in fair condition with isolated areas of cracking, surface deterioration, and peeling waterproofing coating were noted (see Photo Nos. P10 - P12).				
2.1	The concrete step at the south entrance should be demolished and replaced.	1	ls	\$2,500.00	\$2,500.00
2.2	Pressure-washing of the sidewalks to removing peeling waterproofing, and recoating is recommended.	1	ls	\$500.00	\$500.00
3.0	Concrete Curbs: Curbs were noted to be in good condition, but have been covered from previous pavement overlay (see Photo No. P8).				
3.1	Replacement of the curbs in the future when pavement replacement is scheduled should be anticipated.				N/A
4.0	Landscaping: Over-grown shrubbery and tree were noted near the perimeter of the building (see Photo Nos. P1, P5, and P13).				
4.1	Trimming of overgrown vegetation is recommended.	1	ls	\$1,500.00	\$1,500.00
Building:					
5.0	Roofing: The low-slope built-up roofs were noted to be in fair condition, and appear to have exceeded their effective useful life (see Photo Nos. P16 - P21). Also, missing downspout was noted on the east side of the south wing (see Photo No. P14).				
5.1	Replacement of the low-slope roofs is recommended.	17,500	sf	\$6.00	\$105,000.00
5.2	Missing section of the downspout should be replaced, including providing a new splash block.	1	ls	\$250.00	\$250.00
6.0	Exterior Walls: The exterior walls were noted to be in good condition with isolated areas of cracking, vegetation growth, (see Photo Nos. P33, P35, and P36). Staining of the exterior wall at the location of a missing downspout was noted (see Photo No. P14). Areas of mortar cracking were noted at the brick veneer walls (see Photo No. P37).				
6.1	Repair to the wall cracks by epoxy injection is recommended.	1	ls	\$500.00	\$500.00

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No.	Item	Quantity	Units	Unit Cost	Immediate Cost
	6.2 Removal of the vegetation growth is recommended as normal maintenance at no cost.				N/A
	6.3 Pressure washing of the paintable exterior wall surfaces, including areas of brick with staining is recommended.	1	ls	\$1,500.00	\$1,500.00
	6.4 Painting of the paintable exterior wall surfaces is recommended.	6,000	sf	\$1.25	\$7,500.00
	6.5 Tuck-pointing of the exterior brick walls is recommended.	300	sf	\$15.00	\$4,500.00
7.0	Soffits and Fascia: Peeling paint was noted on the metal roof fascia (see Photo Nos. P30 - P31). Cracking of balcony soffits were noted (see Photo No. P29). Damaged soffit was noted at the covered parking below the north wing of the building (see Photo Nos. P41 - P42).				
	7.1 Cleaning of the metal surfaces with peeling paint, priming, and repainting is recommended.	1	ls	\$1,000.00	\$1,000.00
	7.2 Epoxy injection repairs to the cracked soffits is recommended, and should be performed prior to repainting the building.	1	ls	\$750.00	\$750.00
	7.3 Repairs to the damaged soffit below the north wing is recommended.	1	ls	\$2,000.00	\$2,000.00
8.0	Doors/Windows/Storefronts: Peeling paint and corroding metal were noted at some exterior doors (see Photo Nos. P43 - P44). Damaged storefront frame, loose north entry door overhead closer arm, as well as corroding metal storefront frames were noted (see Photo Nos. P53 - P55).				
	8.1 Replacement of the exterior metal doors with significant corrosion is recommended.	2	ea	\$750.00	\$1,500.00
	8.2 Replacement of the damaged storefront mullion is recommended.	1	ls	\$500.00	\$500.00
9.0	Balcony: Staining of the balcony floor, missing balcony floor drain strainer cover, as well as debris accumulation were noted (see Photo Nos. P45 - P47).				
	9.1 Pressure-washing of the balcony and removal of debris is recommended.	1	ls	\$500.00	\$500.00
	9.2 Application of waterproofing on the balcony floor is recommended.	1,100	sf	\$1.75	\$1,925.00
	9.3 Replacement of missing drain strainers is recommended.	3	ea	\$25.00	\$75.00
10.0	Interior Finishes: Generally, the interior finishes were noted to be in poor condition due to lack of maintenance. The building has been vacant for approximately 5 years. Dated or damaged ceiling, wall, and floor finishes were noted (see Photo Nos. P56, P61, P66, P75, P76, and P80).				
	10.1 Replacement of interior finishes is recommended. Our recommendation is based on replacement with similar finishes in existing configuration/layout.				
	10.1.1 Replace carpet flooring.	26,000	sf	\$5.00	\$130,000.00
	10.1.2 Replace wall finishes.	1	allow	\$150,000.00	\$150,000.00

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No.	Item	Quantity	Units	Unit Cost	Immediate Cost
11.0	Mechanical: Generally, the mechanical systems were noted to be in poor condition. It does not appear that the mechanical systems were properly prepped for a shutdown when the building was vacated. Advanced corrosion of HVAC equipment were noted (see Photo Nos. P22 - P27 and P85 - P87).				
11.1	Replace packaged rooftop chillers.	2	ea	\$75,000.00	\$150,000.00
11.2	Replacement packaged air-handling units	2	ea	\$50,000.00	\$100,000.00
11.3	Replace chiller pumps and accessories.	2	ea	\$5,000.00	\$10,000.00
12.0	Electrical: Generally, the electrical fixtures were noted to be in poor to fair condition. Several fixtures were damaged or non-functional. Corroding panels were noted on the roof (see Photo No. P27).				
12.1	Replace light fixtures and miscellaneous corroding panels.	1	allow	\$50,000.00	\$50,000.00
13.0	Plumbing: No significant issues were noted with the plumbing systems. However, due to the length of time the building remained unused, flush of the plumbing pipes may be necessary to determine if pinholes have developed in some of the piping.				
13.1	Flushing of plumbing drain pipes is recommended, including selective replacement of leaking sections, as necessary.	1	allow	\$20,000.00	\$20,000.00
14.0	Elevator: The elevator was noted to be operational at the time of our site visit. However, the elevator interior finishes were noted to be dated (see Photo Nos. P58 - P60). The elevator equipment was not observed.				
14.1	Modernization of the elevator equipment and controls is recommended.	1	ls	\$40,000.00	\$40,000.00
14.2	Refinishing of the elevator cab interior is recommended.	1	ls	\$100,000.00	\$100,000.00
Deferred Maintenance/Property Deficiency Subtotal					\$889,100.00

Cost Summary

	<u>Immediate</u>	<u>Recommended</u>
Code Compliance/Life Safety Issues Subtotal	\$150.00	\$0.00
ADA Barrier Removal Issues Subtotal	\$9,450.00	
Deferred Maintenance/Property Deficiency Subtotal	\$889,100.00	
Cost Estimate Total	\$898,700.00	\$0.00

REPLACEMENT RESERVE SCHEDULE

The property components, including building equipment, appliances, and finishes, are approximately 53 years old. Repairs to or replacement of the property components to date have been performed on an as-needed basis. As these property components age and eventually approach the ends of their expected useful service lives, replacement costs will need to be included in capital expenditure budgets.

The following *Replacement Reserve Schedule* contains the major property components, including pavement, windows and storefronts, caulking, roofing, and HVAC systems. Property components not included are assumed to be part of the annual operating budget. Costs for repair or replacement of the property components for the balance of 2014 are also assumed to be part of the current operating budget if not included in the *Property Condition* section.

The expected useful life (EUL) values are based upon the average age of the building component and assume that the work outlined in the *Property Condition* section of the Report will be performed. The remaining useful life (RUL) values assume that proper routine maintenance will be provided.

REPLACEMENT RESERVE SCHEDULE

10-YEAR PROJECTION

Date of Construction: 1961

Age: 53

Property Component	Quantity	Units	Unit Cost	Footnote	Cost	Expected Life (a)	Remaining Life (b)	Year 1 2015	Year 2 2016	Year 3 2017	Year 4 2018	Year 5 2019	Year 6 2020	Year 7 2021	Year 8 2022	Year 9 2023	Year 10 2024	10-Year Totals	
Site																			
Pavement Maintenance	22,000	sf	\$0.30	(c)	\$6,600	5	5					\$6,600						\$6,600	
Pavement Overlay	22,000	sf	\$1.75	(c)	\$38,500	25	10										\$38,500	\$38,500	
Concrete Sidewalk	1	ls	\$1,000.00	(d)	\$1,000	5	5					\$1,000					\$1,000	\$2,000	
Concrete Curb and Gutter	1	ls	\$750.00	(e)	\$750	5	5					\$750					\$750	\$1,500	
Building																			
Exterior Painting	6,000	sf	\$1.25	(f)	\$7,500	7	7							\$7,500				\$7,500	
Exterior Brick Tuck-pointing	3,100	sf	\$15.00	(f)	\$46,500	10	10										\$4,650	\$4,650	
Wall Joint Sealant	1	ls	\$3,000.00		\$3,000	10	10										\$3,000	\$3,000	
Roofing	17,500	sf	\$6.00	(g)	\$105,000	20	20											\$0	
Windows/Storefronts	1	ls	\$200,000.00	(h)	\$200,000	30	30											\$0	
Balcony	1	ls	\$1,500.00		\$1,500	10	10										\$1,500	\$1,500	
Metal Doors	5	ea	\$1,000.00		\$5,000	20	20											\$0	
Mechanical, Electrical, Plumbing																			
Packaged Chiller Units	2	ea	\$100,000.00	(i)	\$200,000	25	25											\$0	
Packaged Air-handling Units	2	ea	\$50,000.00	(j)	\$100,000	25	25											\$0	
Chilled Water Pumps	2	ea	\$5,000.00	(i)	\$10,000	10	10										\$10,000	\$10,000	
Terminal Units	20	ea	\$900.00	(i)	\$18,000	20	20											\$0	
Split System Units	3	ea	\$4,500.00	(j)	\$13,500	15	15											\$0	
Water Heaters	3	ea	\$500.00	(i)	\$1,500	10	10										\$1,500	\$1,500	
Elevator Finishes	1	ea	\$10,000.00	(k)	\$10,000	15	15											\$0	
Elevator Equipment	1	ea	\$45,000.00	(l)	\$45,000	35	35											\$0	
Interior Finishes																			
Wall Finishes	1	allow	\$100,000.00	(m)	\$100,000	15	15											\$0	
Carpeting Flooring	1	allow	\$130,000.00	(m)	\$130,000	10	10										\$130,000	\$130,000	
Toilet Room Finishes	5	ea	\$5,000.00	(m)	\$25,000	15	15											\$0	
TOTALS								\$0	\$0	\$0	\$0	\$8,350	\$0	\$7,500	\$0	\$0	\$190,900	\$206,750	
TOTALS PER SQUARE FOOT								\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$7	\$8

PROPERTY EVALUATION REPORT

BLUE HERON & BROADWAY

Riviera Beach, Florida

December 15, 2014

Footnotes:

- a. Expected life values are based upon the assumed age of the building component and the assumption that the work outlined in the *Property Condition* section is performed and that continued proper routine maintenance is provided.
- b. Remaining life assumes that recommended repair work outlined in the *Property Condition* section and annual maintenance are performed.
- c. The amount for asphalt pavement is for sealcoating and re-stripping of parking spaces on a 5-year interval. Replacement of the pavement and curbs should be anticipated in Year 10. Year 10 pavement repairs is skipped as a result of the projected replacement.
- d. Sidewalk repairs will include selective replacement and/or routing and crackfilling with pliable filling material.
- e. Concrete curb repairs will include selective replacement.
- f. Painting of paintable surfaces should be performed on an on-going cycle of 7-years and tuck-pointing of 10% of the brick veneer mortar joints as well as other incidental repairs is recommended in Year 10.
- g. It is assumed that the roof has been updated as an immediate-need item.
- h. It is assumed that the windows and storefronts have been updated as an immediate-need item.
- i. It is assumed that the packaged air-handling and split system units have been updated as an immediate-need item.
- j. It is assumed that the packaged air-handling and split system units have been updated as an immediate-need item. However, replacement should be anticipated if the units are re-worked as part of immediate repairs.
- k. Elevator finishes include renewal/updating of the floor, walls, ceiling, light fixture, and controls.
- l. It is assumed that the elevator equipment has been updated as an immediate-need item.
- m. These items are typically part of tenants responsibility where the owner is not the occupant of the building. As such, we have not populated the replacement costs for items that with the replacement cycle in the schedule.

MAINTENANCE

The building was vacant at the time of our site visit, and there is currently no maintenance program in place. Routine maintenance procedures have not been performed over the past five year as the building remained unoccupied; as a result, there is an accumulation of deferred maintenance issues. Establishment, continuation, and enhancement of the routine maintenance procedures will be required as the property improvements continue to age.

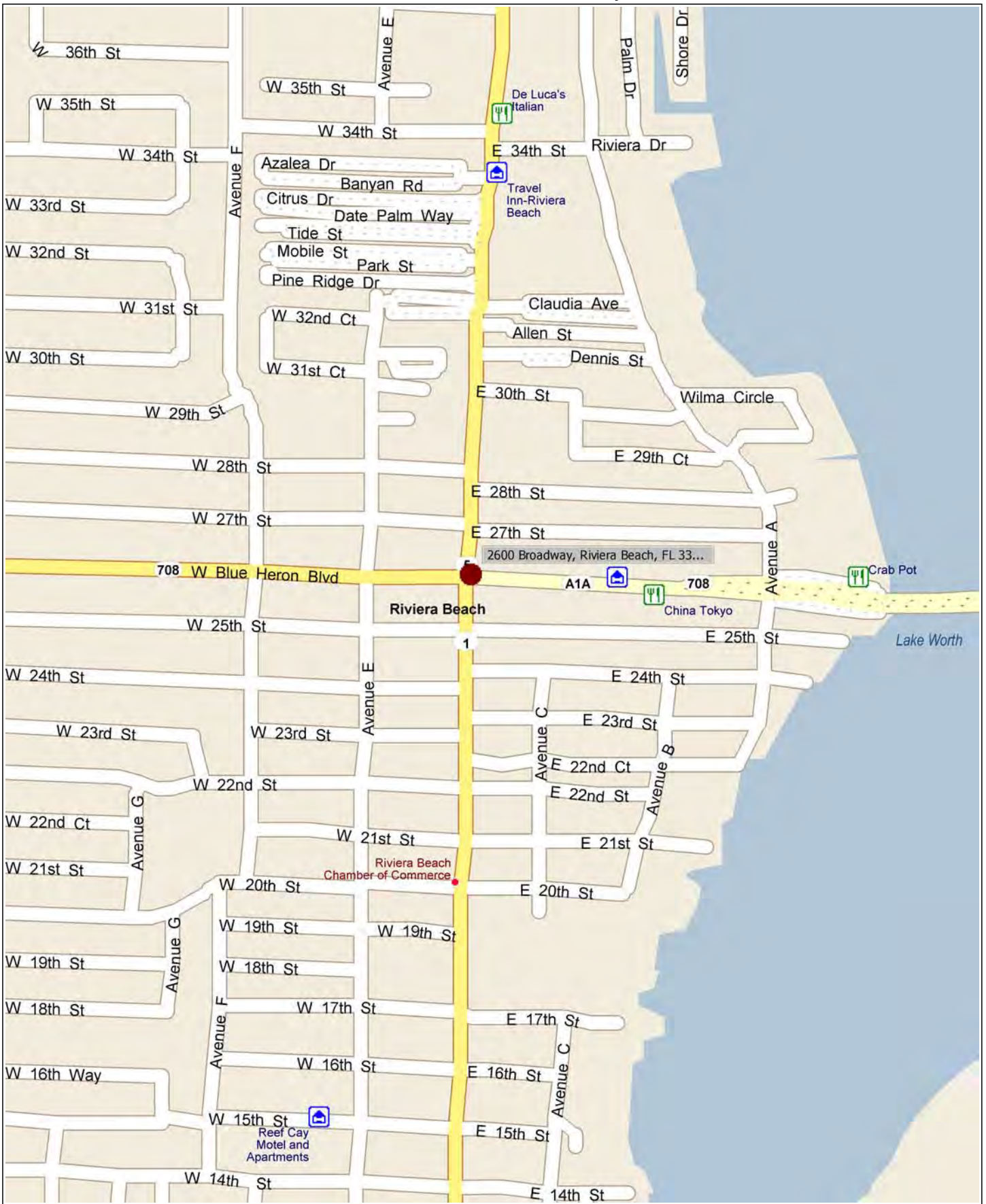
CODE COMPLIANCE

We contacted an official of the City of Riviera Beach by email at 'crobinson@rivierabch.com' to determine if there are open building permits issued at the property which have yet to be closed and/or open citations issued at the property by the Building and/or Fire Departments. No response has been received.

Information regarding the building code to which the building was designed and constructed was not available.

At the time of our site visit, we observed conditions that are considered code violations or life safety issues, as well as ADA accessibility issues. These conditions with associated estimated costs to correct are contained in the *Property Condition* section.

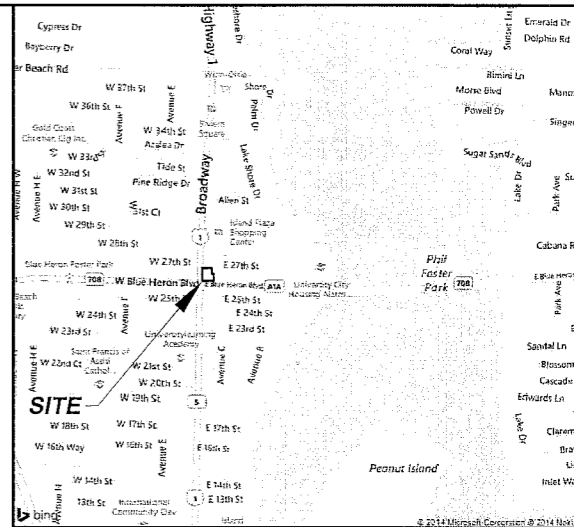
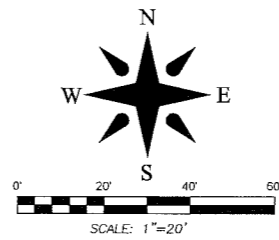
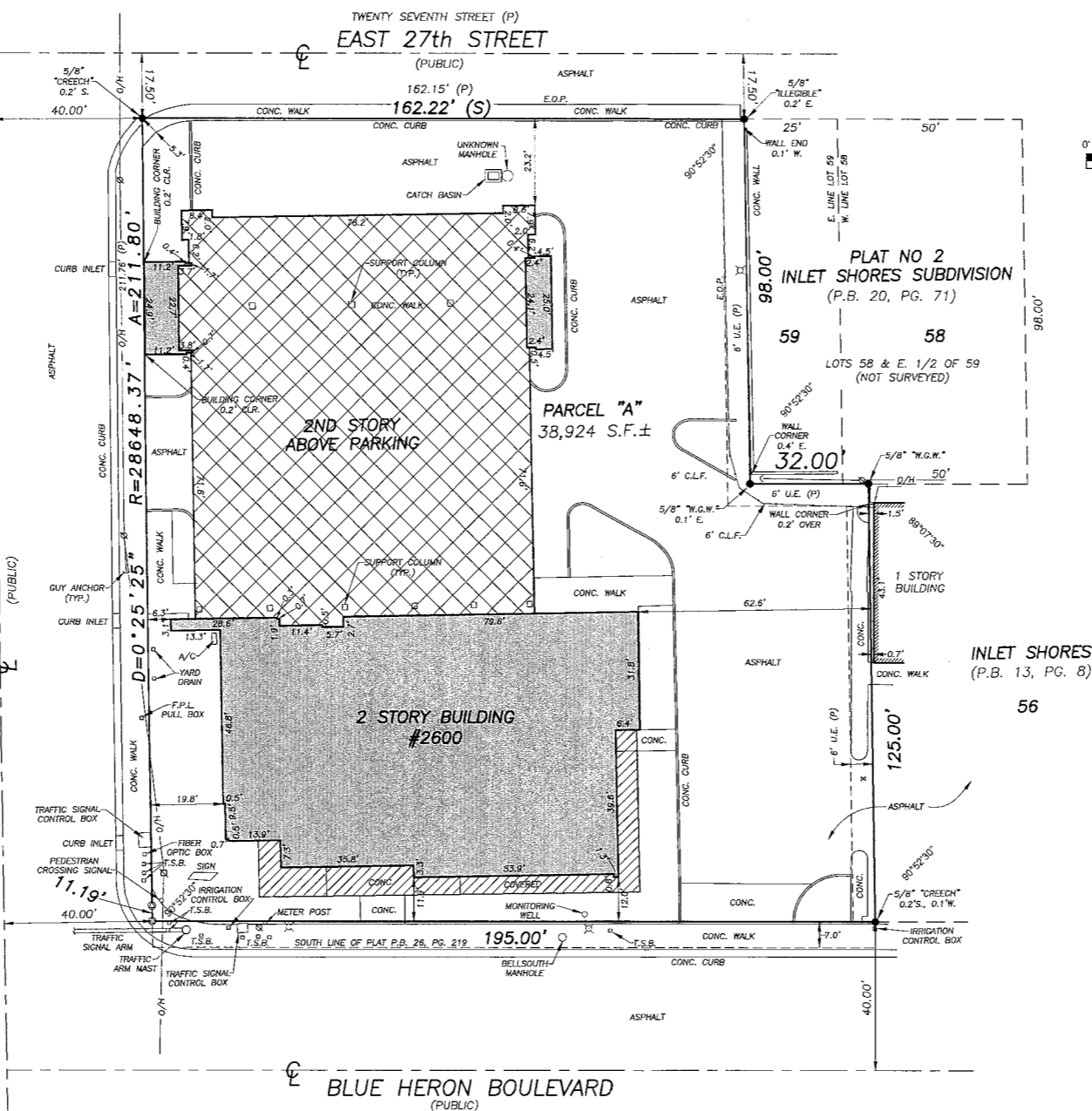
Blue Heron & Broadway



LEGEND

- A = ARC LENGTH
- A/C = AIR CONDITIONING
- A.E. = ACCESS EASEMENT
- A.K.A. = ALSO KNOWN AS
- ASPH. = ASPHALT
- BLDG. = BUILDING
- B.M. = BENCHMARK
- B.O.C. = BACK OF CURB
- B.O.W. = BACK OF WALK
- (C) = CALCULATED
- CATV = CABLE ANTENNA TELEVISION
- C.B. = CHORD BEARING
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
- CH = CHORD
- C.L.F. = CHAIN LINK FENCE
- CL.R. = CLEAR
- C.M.P. = CORRUGATED METAL PIPE
- CONC. = CONCRETE
- (D) = DESCRIPTION DATUM
- D.B. = DEED BOOK
- D.E. = DRAINAGE EASEMENT
- D.H. = DRILL HOLE
- D/W = DRIVEWAY
- EL. = ELEVATION
- ENC. = ENCROACHMENT
- E.O.P. = EDGE OF PAVEMENT
- E.O.W. = EDGE OF WATER
- ESMT = EASEMENT
- F.F. = FINISH FLOOR
- FND. = FOUND
- F.O.C. = FACE OF CURB
- I.D. = INSIDE DIAMETER
- INV. = INVERT
- I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
- L.A.E. = LIMITED ACCESS EASEMENT
- L.B. = LICENSE BOARD
- L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
- (M) = FIELD MEASUREMENT
- M.H. = MANHOLE
- M.H.W.L. = MEAN HIGH WATER LINE
- M.L.W.L. = MEAN LOW WATER LINE
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
- N.T.S. = NOT TO SCALE
- O.A. = OVERALL
- O.D. = OUTSIDE DIAMETER
- OH = OVERHEAD UTILITY LINE
- O.R.B. = OFFICIAL RECORD BOOK
- O/S = OFFSET
- (P) = PLAT DATUM
- P.B. = PLAT BOOK
- P.B.C. = PALM BEACH COUNTY
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- PG. = PAGE
- P.I. = POINT OF INTERSECTION
- P/O = PART OF
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- PROP. = PROPOSED
- P.T. = POINT OF TANGENCY
- P.V.M.T. = PAVEMENT
- (R) = RADIAL
- R = RADIUS
- RGE. = RANGE
- R.P.B. = ROAD PLAT BOOK
- R/W = RIGHT OF WAY
- (S) = SURVEY DATUM
- S.B. = SETBACK
- SEC. = SECTION
- SD = SUBDIVISION
- S.F. = SQUARE FEET
- S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
- S.R. = STATE ROAD
- STA. = STATION
- STY. = STORY
- SW = SIDEWALK
- T.O.B. = TOP OF BANK
- T.O.C. = TOP OF CURB
- TWP. = TOWNSHIP
- TYP. = TYPICAL
- U/C = UNDER CONSTRUCTION
- U.E. = UTILITY EASEMENT
- U.R. = UNRECORDED
- W.C. = WITNESS CORNER
- W.M.E. = WATER MANAGEMENT EASEMENT
- W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
- W.M.T. = WATER MANAGEMENT TRACT
- ± = BASELINE
- ⊕ = CENTERLINE
- Δ = CENTRAL ANGLE/DELTA
- = CONCRETE MONUMENT FOUND (AS NOTED)
- = CONCRETE MONUMENT SET (LB #4569)
- = ROD & CAP FOUND (AS NOTED)
- = 5/8" ROD & CAP SET (LB #4569)
- ⊙ = IRON PIPE FOUND (AS NOTED)
- ⊗ = IRON ROD FOUND (AS NOTED)
- = NAIL FOUND
- ⊙ = NAIL & DISK FOUND (AS NOTED)
- ⊙ = MAG NAIL & DISK SET (LB #4569)
- ⊙ = PROPERTY LINE
- ⊙ = UTILITY POLE
- ⊙ = FIRE HYDRANT
- ⊙ = WATER METER
- ⊙ = WATER VALVE
- ⊙ = LIGHT POLE
- ⊙ = PINE TREE
- ⊙ = SABAL PALM

U.S. HIGHWAY NO 1 (S.R. NO 5) (P)
BROADWAY (PUBLIC)



VICINITY SKETCH N.T.S.

**BOUNDARY SURVEY FOR:
2600 BROADWAY REALTY, LLC**

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

2600 Broadway Realty, LLC
Halle, Shaw & Pfaffenberger, P.A.
First American Title Insurance Company

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
2600 Broadway
Riviera Beach, FL 33404

LEGAL DESCRIPTION:

The West One-Half of Lot 59 and all of Lots 60, 61 and 62, INLET SHORES PLAT NO. 2, according to the Plat thereof as recorded in Plat Book 13, Page 8, of the Public Records of Palm Beach County, Florida, excepting therefrom a strip of land across the West end thereof, heretofore conveyed for widening of U.S. Highway #1; and also excepting the South 7 feet of Lots 56, 57, 58, and 59 for Blue Heron Blvd. right of way.

AND

The West 10 feet of Lot 56 and all of Lots 57, 58, 59, 60, 61, 62, and 63, INLET SHORES, according to the Plat thereof as recorded in Plat Book 13, Page 8, of the Public Records of Palm Beach County, Florida, excepting therefrom a strip of land across the West end thereof, heretofore conveyed for widening of U.S. Highway #1; and also excepting the South 7 feet of Lots 56, 57, 58, and 59 for Blue Heron Blvd. right of way.

(Above land being also described as Parcel A, less and except the South 7.00 feet, PLAT OF COMMUNITY FEDERAL SITE, according to the Plat thereof as recorded in Plat Book 26, Page 219, of the Public Records of Palm Beach County, Florida.)

FLOOD ZONE:
This property is located in Flood Zone C, according to F.I.R.M. (Flood Insurance Rate Map) No. 125142 0003D, dated 9-30-1982.

NOTES:

1. All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 5011612-1062-3264586, issued by First American Title Insurance Company, dated October 29, 2014. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NGVD-29. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
3. Description furnished by client or client's agent.
4. Unless it bears the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
6. Except as shown, underground and overhead improvements are not located. Underground foundations not located.
7. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
9. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
10. All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
12. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon meets the minimum technical standards set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 12/02/14

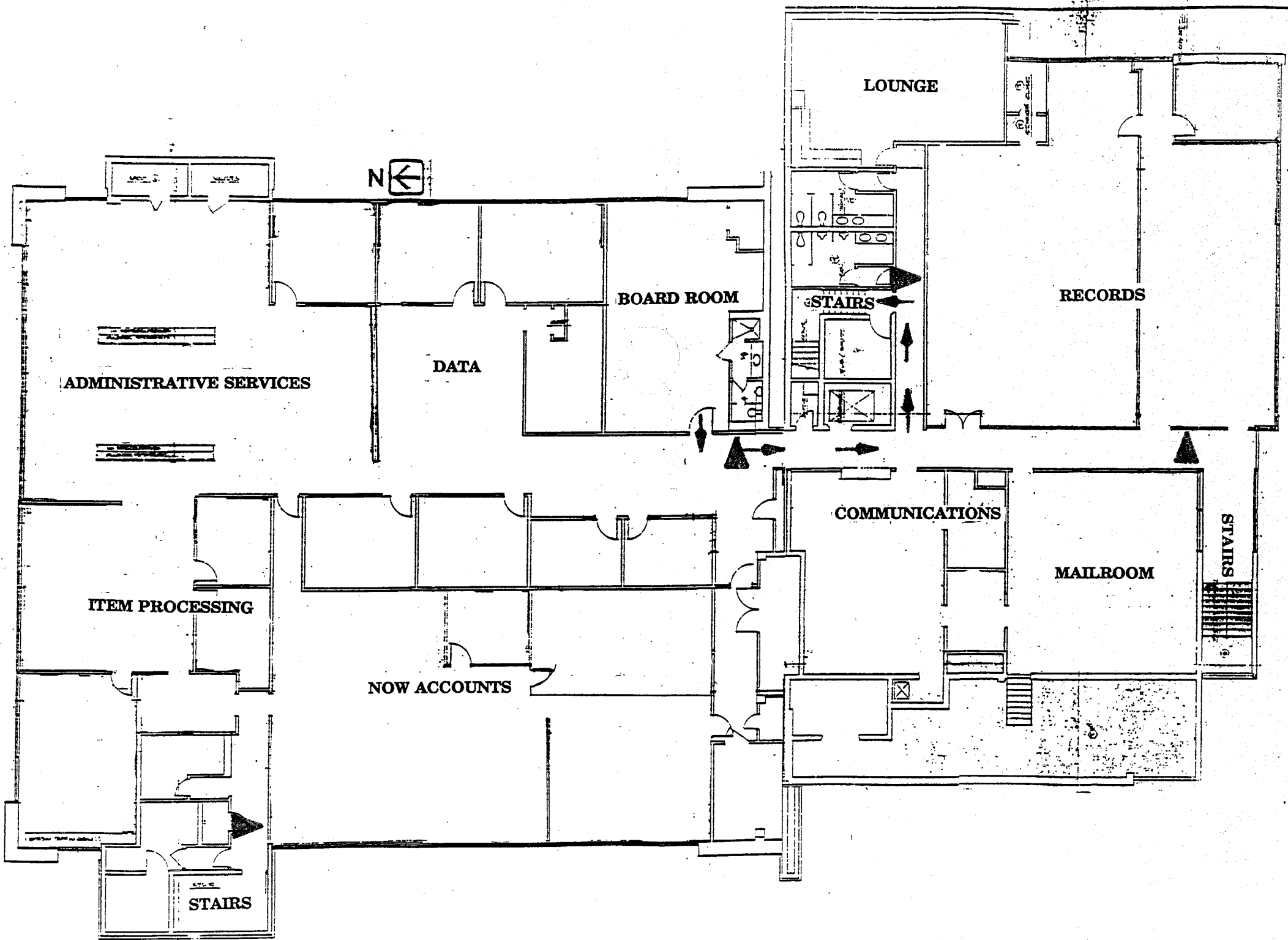
James G. Peden Jr.
Professional Surveyor and Mapper
Florida Certificate No. 6122

BOUNDARY SURVEY FOR:

2600 BROADWAY REALTY, LLC

WALLACE SURVEYING
CORP. LICENSED BUSINESS # 4569
5545 YELADE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4551

FIELD	E.G.	JOB NO.	86-155.1	PLAT NO.	27
OFFICE	J.P.	DATE	12/02/14	DWG NO.	86-155-1
CHKD.	J.P.	REF.	86-155	SHEET	1 OF 1



FIRE ALARM

Anderson, Lori

From: Velasquez, Mario <mvelaquez@Rivierabch.com>
Sent: Monday, December 15, 2014 6:56 AM
To: Anderson, Lori
Cc: Ringle, Peter; Frazier, Jackie P
Subject: RE: Public Records Request

Good morning Lori,

The property located at 2600 Broadway is within the Downtown Core Zoning District, and the Future Land Use designation is Downtown Mixed Use. Please review our code of ordinances on www.municode.com to verify the parking requirement.

If this information is needed in an official City Letter, please send us the request in writing along with a check for a \$150 dollars payable to the City of Riviera Beach.

For any other questions regarding code compliance or violations, please contact Peter Ringle the Building Official at 561-845-4023 or pringle@rivierabch.com who has also been copied.

Mario Velasquez, *Senior Planner/GIS Specialist*
City of Riviera Beach, P: (561) 845-4034, F: (561) 845-4038

From: Anderson, Lori [mailto:Lori_Anderson@lmconsultants.com]
Sent: Monday, December 08, 2014 10:13 AM
To: Robinson, Claudene L
Subject: Public Records Request

Hello,

I am requesting the following information on the property listed below.

Property Address:
2600 Broadway, Riviera Beach, Florida

Property Name: Blue Heron and Broadway

Information Requested:

- **Open Building Code Violations**
- **Open Permits**
- **Current Zoning Classification**
- **General Parking Requirements**
- **Open Fire Code Violations**
- **Date of Last Inspection**

Please route to the Building, Zoning and Fire Departments for processing. I would appreciate receiving the completed information via e-mail.

Thank you.



Atlanta | Chicago | Dallas | Denver | Los Angeles | New York

Lori D. Anderson
Project Coordinator
LM CONSULTANTS, INC.

CORPORATE OFFICE

36 South Whitney
Grayslake, IL 60030
847-573-1717, ext. 155 (phone)
847-573-9737 (fax)
lori_anderson@lmconsultants.com

When you really want to know[®]
www.lmconsultants.com

Anderson, Lori

From: Ringle, Peter <Pringle@Rivierabch.com>
Sent: Monday, December 15, 2014 7:06 AM
To: Velasquez, Mario; Anderson, Lori
Cc: Frazier, Jackie P
Subject: RE: Public Records Request

There are no open permits. There was work done installing a vacuum in 2011 that still has not been resolved.

Peter Ringle
Building Official
Riviera Beach, FL 33404
(561) 845-4023

From: Velasquez, Mario
Sent: Monday, December 15, 2014 8:56 AM
To: Lori_Anderson@lmconsultants.com
Cc: Ringle, Peter; Frazier, Jackie P
Subject: RE: Public Records Request

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Thank you.



Atlanta | Chicago | Dallas | Denver | Los Angeles | New York

Lori D. Anderson
Project Coordinator
LM CONSULTANTS, INC.

CORPORATE OFFICE
36 South Whitney
Grayslake, IL 60030
847-573-1717, ext. 155 (phone)
847-573-9737 (fax)
lori_anderson@lmconsultants.com

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www.lmconsultants.com

SECTION I - LOAN INFORMATION

1. LENDER NAME AND ADDRESS LM CONSULTANTS INC 36 S WHITNEY STREET GRAYSLAKE, IL 60031 LWD - 97171649		2. COLLATERAL (Building/Mobile Home/Property) PROPERTY ADDRESS AND PARCEL NUMBER (See instructions for more information) 4491_003_BLUE HERON & BROADWAY 2600 BROADWAY RIVIERA BEACH, FL 334044537	
3. LENDER ID. NO.	4. LOAN IDENTIFIER 2600_BROADWAY	5. AMOUNT OF FLOOD INSURANCE REQUIRED \$	

SECTION II

A. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) COMMUNITY JURISDICTION

1. NFIP Community Name RIVIERA BEACH, CITY OF	2. County(ies) PALM BEACH	3. State FL	4. NFIP Community Number 125142
---	-------------------------------------	-----------------------	---

B. NATIONAL FLOOD INSURANCE PROGRAM (NFIP) DATA AFFECTING BUILDING / MOBILE HOME

1. NFIP Map Number or Community-Panel Number (Community name, if not the same as "A") 1251420003 D	2. NFIP Map Panel Effective/Revised Date 09/30/82	3. LOMA/LOMR Number	4. Flood Zone C	5. No NFIP Map
---	---	---------------------	---------------------------	----------------

C. FEDERAL FLOOD INSURANCE AVAILABILITY (Check all that apply)

1. Federal flood insurance is available (Community participates in the NFIP). Regular Program Emergency Program of NFIP

2. Federal flood insurance is not available because community is not participating in the NFIP.

3. Building/Mobile Home is in a Coastal Barrier Resources Area (CBRA) or Otherwise Protected Area (OPA). Federal Flood Insurance may not be available.
 CBRA/OPA Designation date: _____

D. DETERMINATION:

IS BUILDING/MOBILE HOME IN SPECIAL FLOOD HAZARD AREA (ZONES CONTAINING THE LETTERS "A" OR "V")? YES NO

If yes, flood insurance is required by the Flood Disaster Protection Act of 1973.
 If no, flood insurance is not required by the Flood Disaster Protection Act of 1973. Please note, the risk of flooding in this area is only reduced, not removed.

E. COMMENTS (Optional) Service Type: Flood Determination Requester: Ashlee Stillman
 Date of Original Determination: 12/05/14 Determination #: 14120509351152 Account ID: LWD - 97171649
 Program Entry Date: 09/22/72

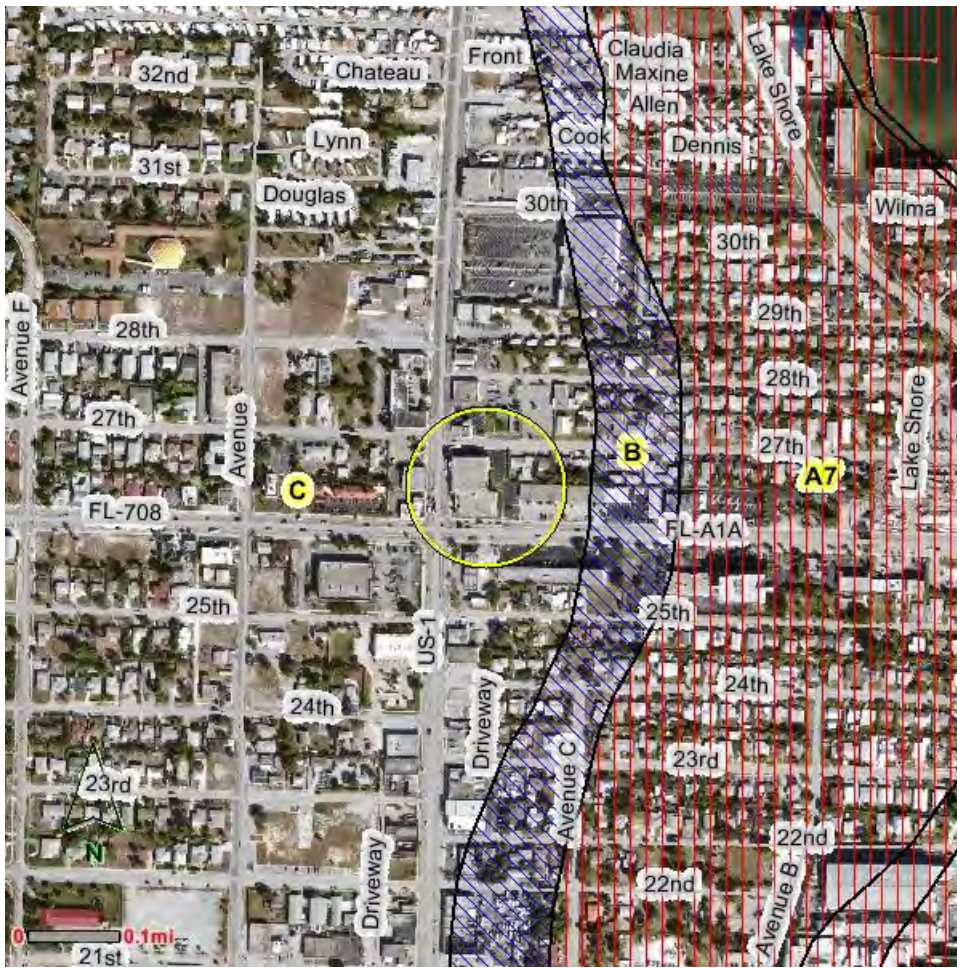
Census Data: STATE CODE #: 12 COUNTY CODE #: 099 MSA/MD: N/A CENSUS TRACT #: N/A BLOCK GROUP #:

THIS FLOOD DETERMINATION IS PROVIDED TO THE LENDER PURSUANT TO THE FLOOD DISASTER PROTECTION ACT AND FOR NO OTHER PURPOSE








This determination is based on examining the NFIP map, and Federal Emergency Management Agency revisions to it, and any other information needed to locate the building/mobile home on the NFIP map.

F. PREPARER'S INFORMATION

NAME, ADDRESS, TELEPHONE NUMBER (If other than Lender) CBCInnovis 875 Greentree Road, 8 Parkway Center Pittsburgh, PA 15220 PHONE: 800-841-0662 / FAX: 800-841-0663	DATE OF DETERMINATION 12/05/14
---	---



Legend Flood Zones

-  A Values
-  D / NMA
-  SHX / B
-  V Values
-  X / C
-  Street
-  Highway

Street Maps Copyright 2006 Tele Atlas.
Flood Maps Copyright 2001 CBCInnovis

Determination Id : 14120509351152
Certified Address : 2600 BROADWAY, RIVIERA
 BEACH, FL 334044537
Flood Zone : C
Base Flood Elevat : N/A
FEMA Map Panel Number : 1251420003 D
Coast CBRA Date :
LOMA LOMR Date :
Distance To 100/500 : 332.0 ft to B
Flood Zone

DISCLAIMER: THIS FLOOD DETERMINATION IS PROVIDED TO THE LENDER PURSUANT TO THE FLOOD DISASTER PROTECTION ACT AND IT DOES NOT CREATE ANY PRIVATE CAUSE OF ACTION ON BEHALF OF THE BORROWERS AGAINST THE LENDER OR THE FLOOD DETERMINATION PROVIDER. DISTANCE TO 100/500 FLOOD ZONE IS CALCULATED USING GEOCODING TECHNOLOGY OBTAINED FROM THIRD PARTY VENDORS. THIS DISTANCE CALCULATION IS PROVIDED WITHOUT ANY WARRANTIES OR GUARANTEES.



1. View of the monument signage noted at the southwest corner of the site.



2. View looking northeast at the building from the intersection of Broadway and Blue Heron Boulevard.



3. View looking southeast at the building.



- 4. View looking northwest at the building. Note the overgrown shrubbery at the south side and overgrown tree near the east side of the building.



- 5. View looking southwest at the building noting the open parking area below the north portion of the building. Note the overgrown tree near the east side of the building.



- 6. View looking north at the southern portion of the driveway and parking lot noting the condition of the concrete apron at the access apron on Blue Heron Boulevard.



- 7. View looking south at the southern portion of the driveway and parking lot.



- 8. View of typical diminished height of the concrete curb noted at the edges of the paved areas. Note the condition of the pavement.



- 9. View of typical cracking and exposed aggregate noted at the parking areas.



10. View looking west at the north side of the site noting the damaged concrete sidewalk and parallel parking spaces.



11. View of the sidewalk provided along the north side of the building noting peeling coating.



12. View of cracked concrete stoop noted at the south entrance to the building.



13. View of tree contact with the building noted on the east side.



14. View of missing downspout noted on the east side of the building.



15. View of missing cover noted on an electric power receptacle at the east side of the building.



16. View looking west at the south roof of the building noting the condition.



17. View at the southeast corner of the south roof noting the lower roof over the balcony and the interior drain on the main roof level.



18. View of a roof drainage scupper noted at the west side of the south roof.



19. View of an open crack noted on the roof coping near the south packaged chiller area.



20. View of the roof access located over the lower roof of the mechanical room. Note the corrosion on the roof hatch.



21. View looking north at the north roof area noting the membrane flashing over the expansion in the foreground.



22. View of the packaged chiller unit noted on the lower roof area over the mechanical room.



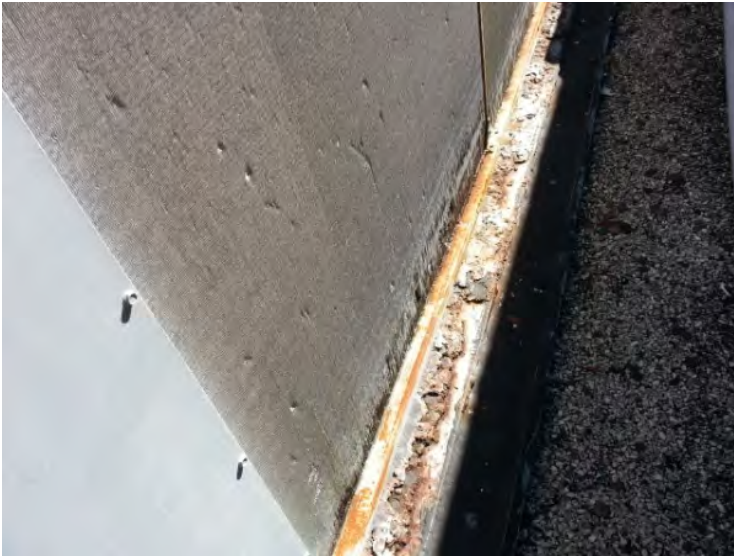
23. View of corroding exhaust fans and mechanical room turbine vent noted on the roof of the mechanical room in the west portion of the building.



24. View of the 2nd packaged chiller unit noted in the west portion of the north roof.



25. View of the chilled water pump noted near the 2nd chiller unit.



26. View of corroding metal noted on the skid level of the packaged chiller unit.



27. View of corroding metal surfaces noted on the electrical equipment near the north packaged chiller unit.



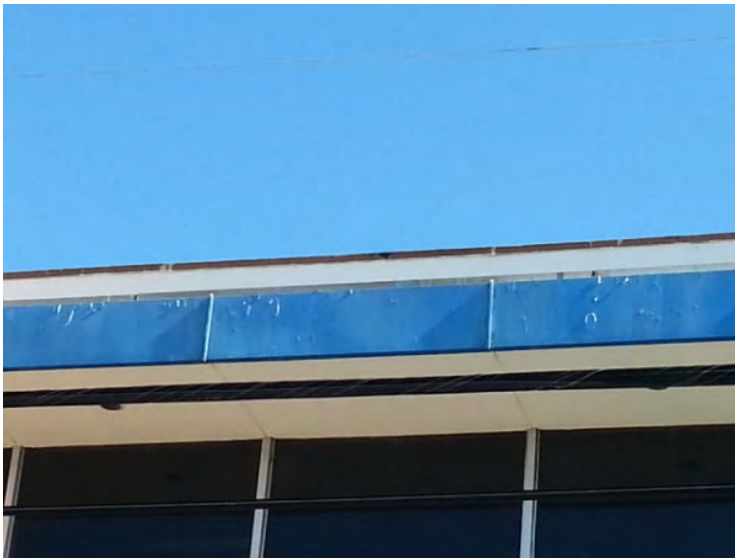
28. View of the 2nd floor balcony overhang at the south side of the building noting typical soffit-mounted lighting fixture.



29. View of cracked concrete soffit noted at the east side balcony.



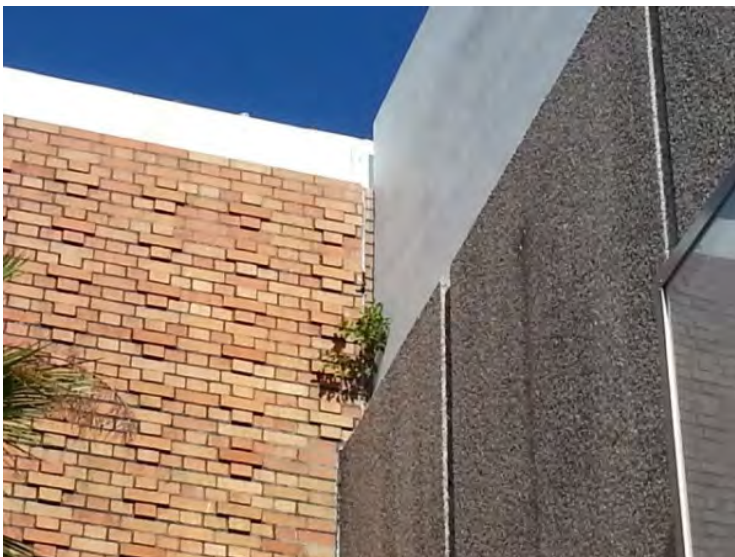
30. View of the access drive to the carport parking spaces below the north portion of the building from the west side of the site. Peeling paint on the blue fascia band was noted.



31. View of peeling paint noted on the metal fascia on the west side of the building. Similar conditions were noted elsewhere.



32. View of illuminated signage noted on the west side of the building.



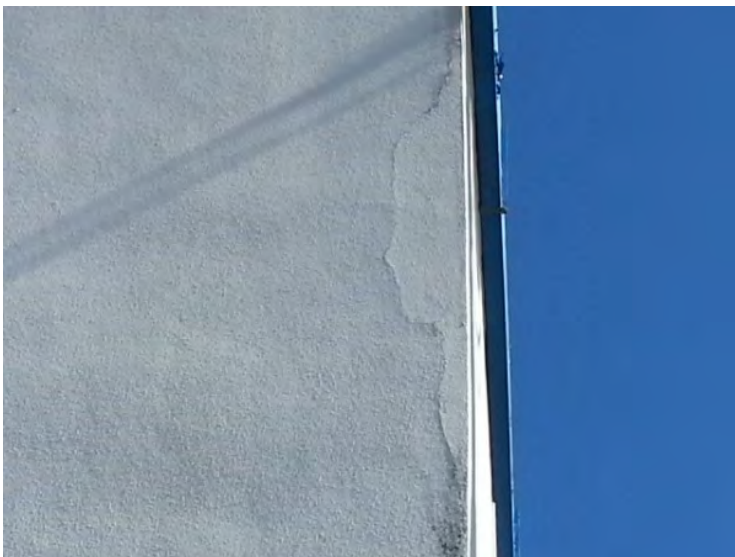
33. View of vegetation growth noted on the west side of the building.



34. View of patterned precast concrete wall noted on the south side of the building.



35. View of cracking noted on the patterned precast concrete wall at the south side of the building.



36. View of exterior concrete wall cracking noted at the southwest corner of the 2nd floor balcony.



37. View of cracked joint noted between the brick and concrete walls at the northeast corner of the northwest stairway.



38. View of precast concrete wall joint detail noted on the west side of the building.



39. View of the parking spaces provided at the underside of the north portion of the building.



40. View of handicapped accessible parking spaces provided at the carport.



41. View of damaged soffit noted on the west-end portion of the carport.



42. View of damaged soffit noted at the entrance header at the east side access to the covered parking spaces.



43. View of peeling paint and corroding metal surfaces noted on the exit door from the northwest stairway.



44. View of corroding metal door noted at the south side of the building.



45. View looking east at the 2nd floor balcony on the south side of the building.



46. View of debris accumulation noted at the east side balcony on the 2nd floor.



47. View of typical balcony floor drain with missing strainer cover noted at the south side of the building. Note the staining of the balcony floor.



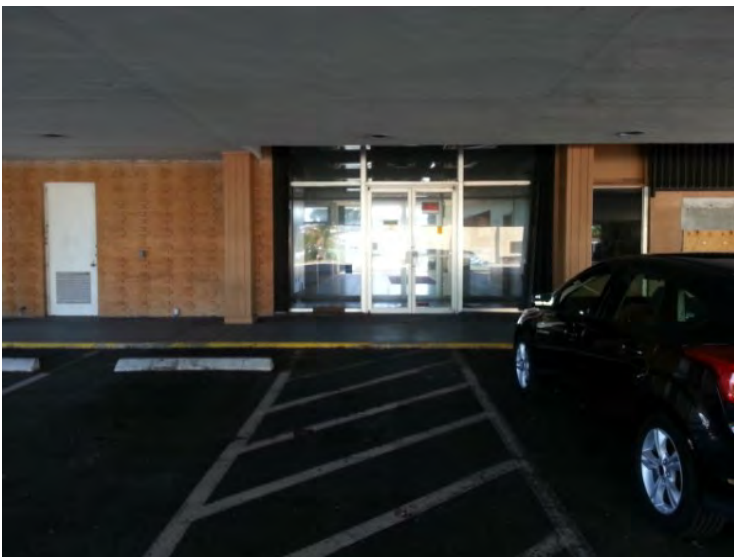
48. View of mosaic tile wall finish noted on the south side of the building.



49. View of typical storefront assembly with hurricane shield noted on the building.



50. View of the east entry door to the building.



51. View of the north entrance to the building from the carport.



52. View of the south entrance to the building from Blue Heron Boulevard.



53. View of loose overhead closer noted on the north entry door.



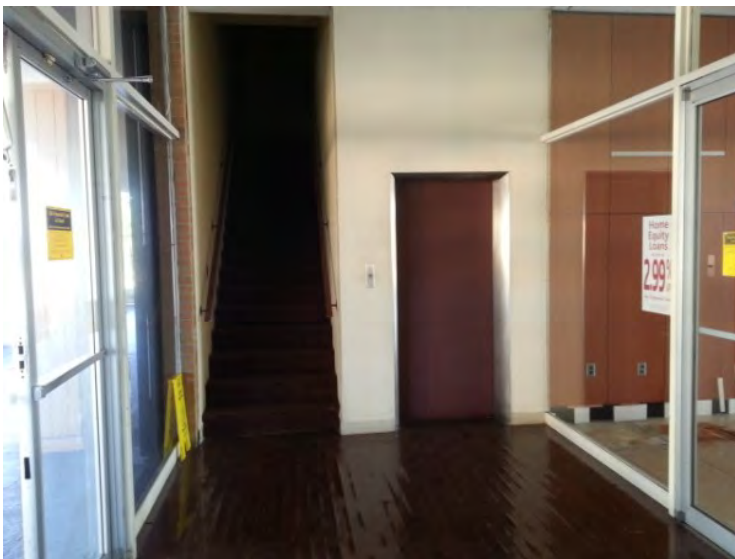
54. View of damaged storefront frame noted at the north entrance to the building.



55. View of corroding storefront metal frame noted in the building at the east storefront assembly.



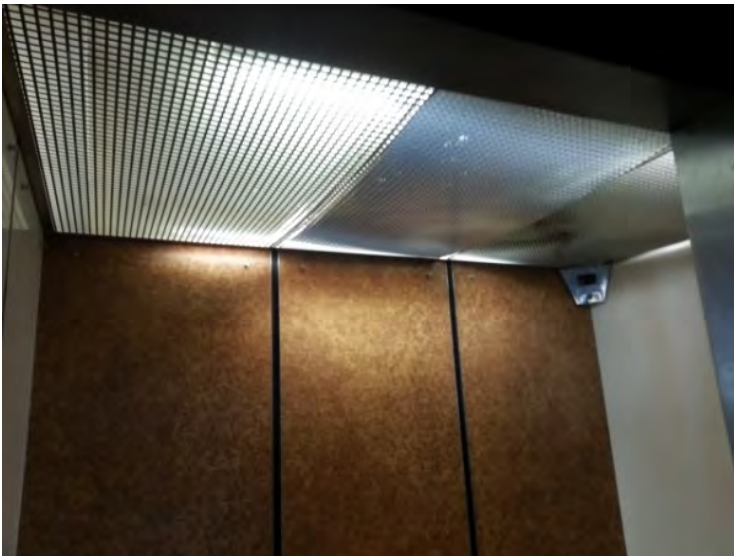
56. View of damaged wood flooring noted at the north entrance vestibule.



57. View in the vestibule noting the elevator.



58. View in the elevator noting the floor and wall finishes.



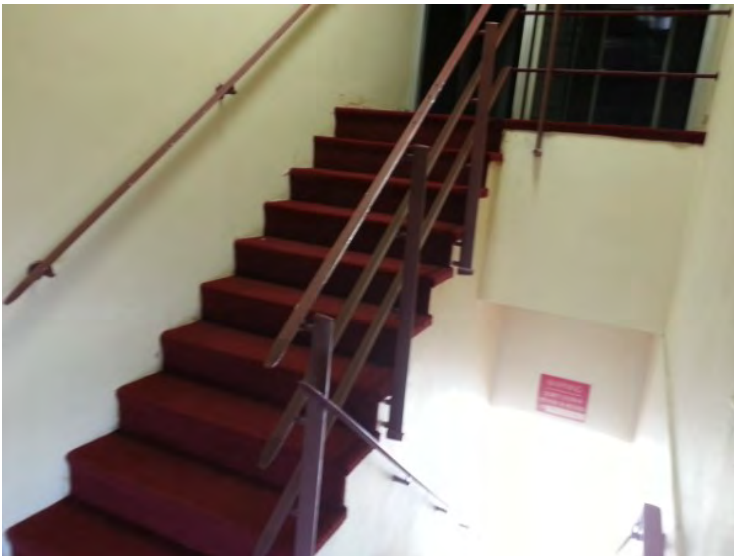
59. View in the elevator noting the ceiling and wall finishes.



60. View of the elevator front noting the control.



61. View of the center stair located in the north entrance vestibule.



62. View of the southwest stair noting the finishes.



63. View of the northwest stairway.



64. View of the 1st floor open office area.



65. View of the main lobby in the former banking hall in the 1st floor.



66. View in the break room noted in the north portion of the 1st floor.



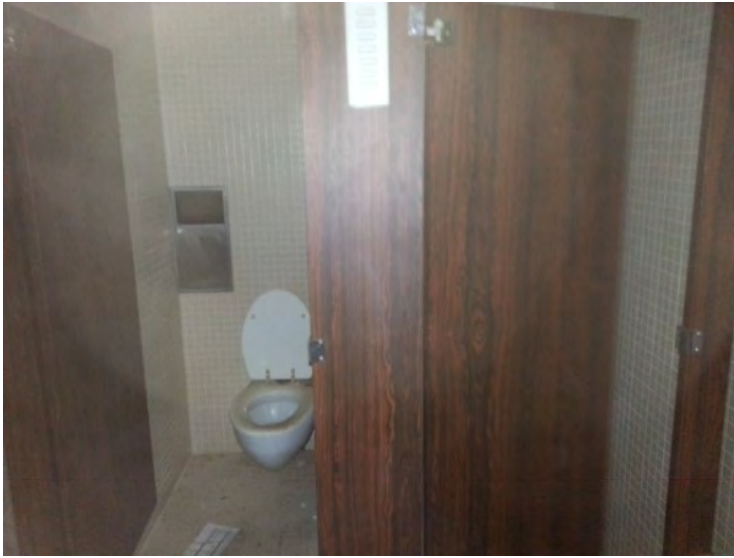
67. View in the 1st floor men's toilet room noting the handicapped accessible water closet stall.



68. View of the urinal and lavatory noted in the 1st floor men's toilet room.



69. View of the lavatory in the women's toilet room located in the west portion of the 2nd floor.



70. View of the water closet stall in the women's toilet room located in the west portion of the 2nd floor.



71. View of urinals and water closet noted in the men's toilet room in the west portion of the 2nd floor.



72. View of the lavatory in the men's toilet room located in the west portion of the 2nd floor.



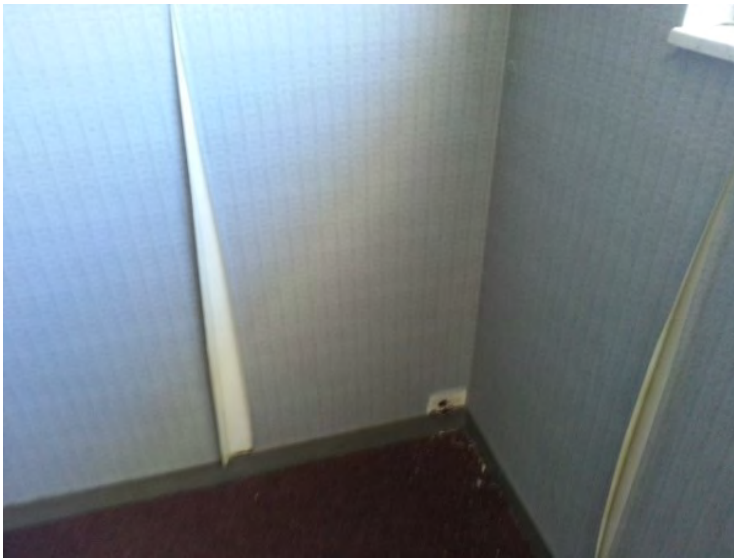
73. View of typical interior window sill.



74. View of a drinking fountain noted in the northwest portion of the 2nd floor.



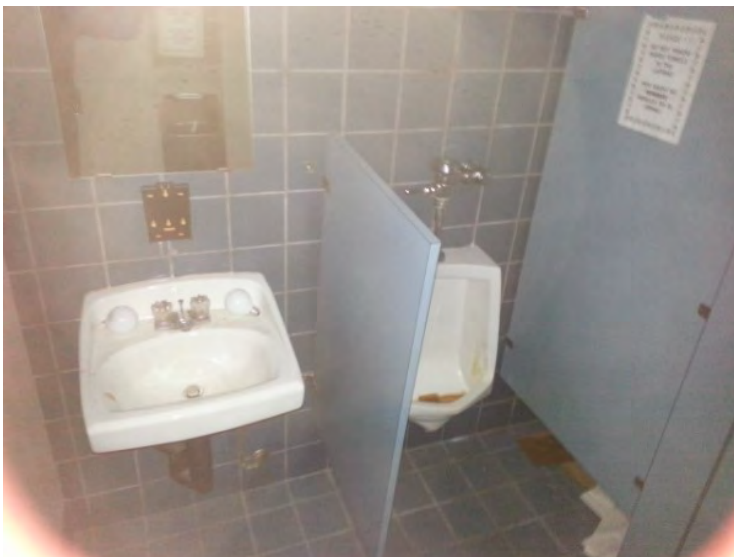
75. General view in the 2nd floor office area. Note the condition of the vinyl wall covering and the flooring.



76. View of peeling vinyl wall covering noted on the 2nd floor.



77. View in the former board room.



78. View of wall-mounted wash sink noted in the men's toilet room in the east portion of the 1st floor.



79. View in the entry door into the bank vault noted in the southwest portion of the 1st floor.



80. View in the bank vault noted in the southwest portion of the 1st floor.



81. View of the structural steel framing of the building noted on the 2nd floor.



82. View of the fire alarm control panel noted in the north portion of the 1st floor. Note the typical fire extinguisher.



83. View of the telecom cabinet noted in the mechanical room in the west portion of the building.



84. View in the telecom and computer room located on the 2nd floor of the building.



85. View of an HVAC equipment noted in the east portion of the 2nd floor.



86. View of HVAC equipment noted in the north portion of the mechanical room.



87. View of one of the two built-up air-handling unit noted in the mechanical room in the west portion of the building.



88. View of electrical main panel noted in the mechanical room in the west portion of the building.



89. View of an electric water heater noted in the west portion of the 2nd floor.



90. View of the access stair noted in the mechanical room in the west portion of the building.

THIS AGREEMENT PROVIDES FOR RETREATMENT OF THE INFESTED AREA OF THE COVERED STRUCTURE(S) IN THE EVENT THAT DRYWOOD TERMITES REINFEST THE COVERED STRUCTURE(S), BUT THIS AGREEMENT DOES NOT PROVIDE FOR THE REPAIR OF DAMAGE CAUSED BY DRYWOOD TERMITES.

GRID #



Orkin Pest Control
COMMERCIAL

DRYWOOD TERMITE RETREATMENT SERVICE AGREEMENT
(Does Not Cover Subterranean or Formosan Termites)

THIS AGREEMENT IS CONTINGENT UPON THE APPROVAL AND SIGNATURE OF THE ORKIN BRANCH MANAGER, WHO HAS SOLE AUTHORITY TO EXECUTE IT ON BEHALF OF ORKIN.

RJS Realty **6/21/18**
Customer Date
2600 Broadway
Street Address (Treated Premises)
Riviera Beach **FL** **33404**
City State Zip Code
(561) 694-5281 **(561) 694-5281**
Home Phone Work Phone

RJS Realty
Billing Name (if different)
2600 Broadway
Billing Address (if different)
Riviera Beach **FL** **33404**
City State Zip Code

County Name **Palm Beach** Is this within the City Limits? Yes No

Type of structure to be treated **Office Building**

METHOD OF PAYMENT: FINANCED - See Separate Finance Agreement
 CASH - BALANCE DUE UPON COMPLETION OF WORK

DOWN PAYMENT MADE BY: CHECK # _____
 COMPLETE EASY PAYMENT FORM

1. Service Purchased:	
a. Initial Treatment Cost.	\$ 23650.00
b. Minus Adjustments	(\$ 0.00)
c. Additional Renewal for _____ Years	\$ 0.00
Subtotal (sum a - b + c)	\$ 23650.00
2. Other Items:	
a. Sales Taxes	\$ 1655.50
b. Other Fees	\$ 0.00
Subtotal (sum a + b)	\$ 1655.50
3. TOTAL: Price (sum 1 + 2)	\$ 25305.50
4. LESS: Down Payment	(\$ _____)
5. Unpaid Balance (3 minus 4)	\$ 25305.50

- ORKIN LIMITED 10-YEAR RENEWABLE DRYWOOD TERMITE RETREATMENT SERVICE ("Service") (DW):**
 - Orkin shall treat Customer's structure for Drywood Termites using the treatment specified in the Treatment Report for
 - prevention
 - presumptive evidence
 - control of Drywood Termites

The treatment does not include fumigation. **Orkin does not guarantee that termites will never return to the treated structure ("Treated Premises"). If termites do return as indicated by evidence of a live Drywood termite infestation, Orkin will retreat that area. This Service does not cover any damage to the structure or its contents.**
Customer shall receive the following Service after the initial treatment is performed.
 - The Service will expire one (1) year from the date of the original treatment, unless it is renewed by the Customer. The Service may be renewed from year to year for a period which shall not exceed ten (10) years from the date of the original treatment.**
 - Customer is required to make the Treated Premises accessible to Orkin for any inspections and treatments as Orkin deems necessary. This may include removing floor coverings, wall coverings and fixtures, for which the responsibility and costs rest exclusively with Customer. If the Customer fails to comply with these obligations, Orkin may, at its option, terminate the Agreement.
 - The Customer agrees to be solely responsible for maintaining the Treated Premises free from any condition conducive to termite infestation ("Conductive Conditions," see paragraph 8 for explanation).** The Customer agrees to be solely responsible for identifying and correcting Conducive Conditions. This responsibility rests exclusively with the Customer, not with Orkin. In addition, the existence of any Conducive Condition, that was not timely corrected, including any Conducive Condition existing, but not visible at the time of the execution of this Agreement, will permit Orkin, at its sole discretion, to terminate the Agreement or to require Customer to purchase any additional treatment required as a result of the Conducive Condition.
 - Prior to making any structural modification or alteration or disturbing the soil in, around or under the Treated Premises, Customer must notify Orkin in writing and purchase any additional treatment required by the changes. The failure of Orkin to notice any such change does not release Customer from this obligation. If Customer fails to do so, Orkin, at its option, may terminate the Agreement.
 - Orkin is performing a service and expressly disclaims any guarantee of any kind, whether expressed or implied, for any injury or damage related to the service performed. Customer expressly releases Orkin from any claim for termite damage or repair.**
- OTHER INFESTATIONS: Customer waives and releases Orkin from any liability for any claim or damages to the structure or its contents caused by an infestation of Wood Destroying Fungi, Formosan Termites, Subterranean Termites, Boring Beetles, or any other Wood Destroying Insects. Customer also waives and releases Orkin from liability for any claim or injuries, damages, or losses of whatever nature or type related to mold or fungal growth.**
- RENEWAL:** To maintain the Service, Customer shall timely pay an annual renewal fee. The first annual renewal fee will be \$ **2838.00**. Thereafter, Orkin shall have the right to increase the annual renewal fee by an amount not to exceed the consumer price index or by an amount not to exceed ten percent (10%), whichever is greater. This annual right to renew expires ten (10) years from the date of initial treatment. If Orkin does not increase the Annual Renewal Payment in any one or more years, at any subsequent increase Orkin may cumulatively include any amount it would have been permitted to increase in that prior year or period of years.
- LIMITATION OF LIABILITY:** Customer expressly waives any claim for economic, compensatory, or consequential damages relating to the existence of Drywood termites or Drywood termite damage, or for increased costs, loss of use, business interruption, diminution of value, or any "stigma" damage due to the presence of Drywood termites or Drywood termite damage. The Customer acknowledges that Orkin is performing a service and except for any damage to the structure caused by Orkin in the performance of its services, Customer waives any claims for property damage. Customer agrees that under no circumstances shall Orkin be held liable for any amount greater than the amount paid by the Customer to Orkin for the termite service to be performed. **Nothing in this Agreement shall be construed as depriving the Customer of remedies available under applicable state consumer protection laws.**
- LIMITED ASSIGNABILITY:** This Agreement is assignable as a **retreat only** Agreement to the new owner of the property under the following conditions: (a) the new owner presents the Orkin branch office written notice requesting that the Agreement be assigned; (b) Orkin conducts an inspection of the property, the results of which are satisfactory to Orkin; (c) Orkin consents in writing to the assignment of the Agreement; and (d) the new owner pays a transfer fee.
- REINSPECTION:** Orkin shall reinspect the treated structure as deemed necessary by Orkin or once a year, if requested by Customer. An annual inspection will be made by Orkin if required by applicable State law or regulations. Any reinspection is separate from and independent of Customer's obligation to pay the annual renewal.
- CHEMICAL INFORMATION WARNING:** Virtually all pesticides have some odor which may be present for a period of time after application. If you or any member of your household believes you have a sensitivity to chemical odor or chemicals, Orkin recommends that you not have an initial or a subsequent service performed at your premises until you have consulted with your family physician. At your request, Orkin will provide information about the chemicals to be used in treating the premises.
- CONDUCTIVE CONDITIONS:** Conducive Conditions include, but are not limited to: roof leaks, improper ventilation, faulty plumbing, and water leaks or intrusions in or around the structure; inherent structural problems, including, but not limited to, wood to ground contact, masonry failures, and settlement of the foundation; foam insulation, stucco construction, expanded polystyrene or styrofoam molded foundation systems, siding (including vinyl, wood and metal) in contact with the ground, mulch, or other protective ground covering; and firewood, trash, lumber, wood, mulch, shrubs, vines, and other protective ground covering in contact with structure.
- ENTIRE AGREEMENT:** This Agreement and the attached Treatment Report shall be the entire Agreement between Customer and Orkin. No other agreements, understandings or representations, whether written or oral, with respect to the Agreement shall be binding as they shall be merged into and superseded by this Agreement. Customer warrants and acknowledges that Customer has not relied on or been induced by any other agreements, understandings or representations, whether written or oral, in signing this Agreement. The terms of the Agreement stated herein may not be amended or altered unless a written change is approved and signed by a Corporate Officer of Orkin. No other employees or agents of Orkin have authority to amend or alter any part of this Agreement. If any provision or portion thereof, of this Agreement is found to be invalid or unenforceable, it shall not affect the validity or enforceability of any other part of this Agreement.
- APPLICABLE LAW:** This Agreement shall be governed by and construed under the laws of the State of Georgia, without regard to its conflicts of laws principles.
- FORCE MAJEURE (Circumstances beyond Orkin's control):** Orkin's obligations under this Agreement shall be cancelled if Orkin cannot perform its responsibilities due to Acts of God, including, earthquakes, storms, fires, floods, or because of a material change in circumstances including but not limited to acts of war, inaccessibility of the property, strikes, unavailability of termiticide, baits or other supplies from ordinary sources.
- TERMINATION BY ORKIN:** Orkin may terminate this Agreement, without notice, if the obligations set forth in this Agreement are not met by Customer, or in the event of a change in state or federal law or regulation that materially affects Orkin's obligations under this Agreement.
- MONEY BACK GUARANTEE: ORKIN GUARANTEES THAT IF CUSTOMER IS NOT COMPLETELY SATISFIED WITH ORKIN'S TREATMENT, ORKIN WILL REFUND CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID MONITORING FEES IF CUSTOMER CONTACTS ORKIN IN WRITING AT THE BRANCH ADDRESS BELOW WITHIN 30 DAYS AFTER CUSTOMER'S INITIAL TREATMENT, AND ORKIN FAILS TO RESOLVE CUSTOMER'S PROBLEM WITHIN 30 DAYS AFTER RECEIVING IT. A REFUND BY ORKIN OF CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID MONITORING FEES WILL RESULT IN CANCELLATION OF THIS AGREEMENT.**

Gary Barnes **676443**
Inspector Name (PRINT) Employee ID # or Certification #
(561) 713-8499
Branch Telephone Number
THIS AGREEMENT IS NOT VALID UNTIL APPROVED BY THE BRANCH MANAGER

1592 Donna Road
Branch Street Address
West Palm Beach **FL** **33409**
City State Zip Code

Branch Manager's Signature Date **6/21/18**

Customer's Signature Date **6/21/18**

THIS AGREEMENT PROVIDES FOR RETREATMENT OF THE INFESTED AREA OF THE COVERED STRUCTURE(S) IN THE EVENT THAT SUBTERRANEAN OR FORMOSAN TERMITES REINFEST THE COVERED STRUCTURE(S), BUT THIS AGREEMENT DOES NOT PROVIDE FOR THE REPAIR OF DAMAGE CAUSED BY SUBTERRANEAN OR FORMOSAN TERMITES.



COMMERCIAL SERVICES

Orkin Pest Control
Commercial

GRID #

**FLORIDA SUBTERRANEAN AND FORMOSAN TERMITE PROGRAM
RETREAT SERVICE AGREEMENT**

THIS AGREEMENT IS CONTINGENT UPON THE APPROVAL AND SIGNATURE OF THE ORKIN BRANCH MANAGER, WHO HAS SOLE AUTHORITY TO EXECUTE IT ON BEHALF OF ORKIN.

ORKIN CONTINUOUS PROTECTION PLAN

- ORKIN LIMITED RETREATMENT SERVICE ("Service") (U1):**
 - Orkin shall treat Customer's structure for Subterranean and Formosan termites using the treatment specified in the Treatment Report for:
 - prevention
 - presumptive evidence
 - control of Subterranean or Formosan termites

Orkin does not guarantee that termites will never return to the treated structure ("Treated Premises"). If termites do return as indicated by evidence of a live Subterranean termite infestation, Orkin will retreat that area. This Service does not cover any damage to the structure or its contents.
 - This Service shall expire one (1) year from the date of initial treatment; however, for the first ten (10) years, the Customer has the exclusive right to renew the Service by timely payment of the annual renewal. At the end of that ten-year period, the Service may be renewed annually with the mutual consent of both parties, and, thereafter, either party may terminate the Service only at the end of a service year.
 - Customer is required to make the Treated Premises accessible to Orkin for any inspections and treatments as Orkin deems necessary. This may include removing floor coverings, wall coverings and fixtures, for which the responsibility and costs rest exclusively with the Customer. If the Customer fails to comply with these obligations, Orkin may, at its option, terminate the Agreement.
 - The Customer agrees to be solely responsible for maintaining the Treated Premises free from any condition conducive to termite infestation ("Conductive Conditions," see paragraph 9 for explanation). The Customer agrees to be solely responsible for identifying and correcting Conducive Conditions. This responsibility rests exclusively with the Customer, not with Orkin. In addition, the existence of any Conducive Condition, that was not timely corrected, including any Conducive Condition existing, but not visible at the time of the execution of this Agreement, will permit Orkin, at its sole discretion, to terminate the Agreement or to require Customer to purchase any additional treatment required as a result of the Conducive Condition.
 - Prior to making any structural modification or alteration or disturbing the soil in, around or under the Treated Premises, Customer must notify Orkin in writing and purchase any additional treatment required by the changes. If Customer fails to do so, Orkin, at its option, may terminate the Agreement.
 - Orkin is performing a service and expressly disclaims any guarantee of any kind, whether expressed or implied, for any injury or damage related to the service performed. Customer expressly releases Orkin from any claim for termite damage or repair. Customer also waives and releases Orkin from liability for any claim or injuries, damages, or losses of whatever nature or type related to mold or fungal growth.
- OTHER INFESTATIONS:** Customer waives and releases Orkin from any liability for any claim or damages to the structure or its contents caused by an infestation of Wood Destroying Fungi, Drywood Termites, Boring Beetles or any other Wood Destroying Insects.
- RENEWAL:** To maintain the Service, Customer shall timely pay an annual renewal fee. The first annual renewal fee will be \$ **447.00**. Thereafter, Orkin shall have the right to increase the annual renewal fee by an amount not to exceed the consumer price index or by an amount not to exceed ten percent (10%), whichever is greater. If Orkin does not increase the annual renewal payment in any one or more years, at any subsequent increase Orkin may cumulatively include any amount it would have been permitted to increase in that prior year or period of years.
- MEDIATION/ARBITRATION:** ANY CONTROVERSY OR CLAIM ARISING OUT OF OR RELATING TO THIS AGREEMENT, OR THE SERVICES PERFORMED BY ORKIN UNDER THIS AGREEMENT OR ANY OTHER AGREEMENT, REGARDLESS OF WHETHER THE CONTROVERSY OR CLAIM AROSE BEFORE OR AFTER THE EXECUTION, TRANSFER OR ACCEPTANCE OF THIS AGREEMENT, INCLUDING BUT NOT LIMITED TO ANY TORT AND STATUTORY CLAIMS, AND ANY CLAIMS FOR PERSONAL OR BODILY INJURY OR DAMAGE TO REAL OR PERSONAL PROPERTY, SHALL BE SETTLED BY BINDING ARBITRATION. UNLESS THE PARTIES AGREE OTHERWISE, THE ARBITRATION SHALL BE ADMINISTERED UNDER THE RULES OF THE AMERICAN ARBITRATION ASSOCIATION ("AAA") AND SHALL BE CONDUCTED BY AAA. IF ADMINISTERED UNDER THE AAA RULES, A CLAIM SHALL BE DETERMINED UNDER THE AAA SUPPLEMENTARY PROCEDURES FOR CONSUMER-RELATED DISPUTES IN CASES WHERE SUCH PROCEDURES ARE APPLICABLE. ANY OTHER CONTROVERSY OR CLAIM SHALL BE DETERMINED UNDER THE AAA COMMERCIAL ARBITRATION RULES. THE CUSTOMER AND ORKIN AGREE THAT THE ARBITRATOR SHALL FOLLOW THE SUBSTANTIVE LAW, INCLUDING THE TERMS AND CONDITIONS OF THIS AGREEMENT. THE ARBITRATOR'S POWERS TO CONDUCT ANY ARBITRATION PROCEEDING UNDER THIS AGREEMENT SHALL BE LIMITED AS FOLLOWS: ANY ARBITRATION PROCEEDING UNDER THIS AGREEMENT WILL NOT BE CONSOLIDATED OR JOINED WITH ANY ACTION OR LEGAL PROCEEDING UNDER ANY OTHER AGREEMENT OR INVOLVING ANY OTHER PREMISES, AND WILL NOT PROCEED AS A CLASS ACTION, PRIVATE ATTORNEY GENERAL ACTION OR SIMILAR REPRESENTATIVE ACTION. EITHER PARTY HAS THE RIGHT TO REQUIRE A PANEL OF THREE (3) ARBITRATORS, BUT IN THE ABSENCE OF THE PARTIES' AGREEMENT, THE REQUESTING PARTY SHALL BE RESPONSIBLE FOR THE COST OF THE ADDITIONAL ARBITRATORS. EITHER PARTY MAY REQUEST AT ANY TIME PRIOR TO THE HEARING THAT THE AWARD BE ACCOMPANIED BY A REASONED OPINION. THE AWARD RENDERED BY THE ARBITRATOR(S) SHALL BE FINAL AND BINDING ON ALL PARTIES, EXCEPT THAT A PARTY MAY WITHIN 30 DAYS OF THE ORIGINAL AWARD REQUEST AN ARBITRAL APPEAL TO AN APPEAL TRIBUNAL, CONSTITUTED IN THE SAME NUMBER AND BY THE SAME PROCESS AS THE INITIAL ARBITRATOR(S). THE APPEALING PARTY SHALL BE RESPONSIBLE FOR THE FILING FEE AND OTHER ARBITRATION FEES AND COSTS SUBJECT TO AWARD BY THE APPEAL TRIBUNAL UNDER APPLICABLE LAW. THE APPEAL TRIBUNAL SHALL REVIEW ALL QUESTIONS OF LAW AND FACT UNDER A CLEARLY ERRONEOUS STANDARD. THE AWARD OF THE APPEAL TRIBUNAL SHALL BE FINAL AND BINDING. JUDGMENT MAY BE ENTERED ON THE AWARD IN ANY COURT HAVING JURISDICTION THEREOF. CUSTOMER AND ORKIN ACKNOWLEDGE AND AGREE THAT THIS ARBITRATION PROVISION IS MADE PURSUANT TO A TRANSACTION INVOLVING INTERSTATE COMMERCE AND SHALL BE GOVERNED BY THE FEDERAL ARBITRATION ACT. BEFORE HAVING RECOURSE TO ARBITRATION, CUSTOMER AND ORKIN EACH AGREES TO TRY IN GOOD FAITH TO SETTLE ANY CONTROVERSY OR CLAIM BY AT LEAST FOUR (4) HOURS OF MEDIATION ADMINISTERED UNDER THE AAA COMMERCIAL MEDIATION RULES WITH ORKIN AGREEING TO PAY THE COSTS OF THE MEDIATION. THE AAA MAY BE CONTACTED AT THE TOLL-FREE NUMBER 800.778.7879, OR THROUGH THE FOLLOWING WEBSITE: <http://www.adr.org>.
- LIMITATION OF LIABILITY:** Customer expressly waives any claim for economic, compensatory, or consequential damages relating to the existence of Subterranean or Formosan termites or Subterranean or Formosan termite damage, or for increased costs, loss of use, business interruption, diminution of value, or any "stigma" damage due to the presence of Subterranean or Formosan termites or Subterranean or Formosan termite damage. The Customer acknowledges that Orkin is performing a service and except for any damage to the structure caused by Orkin in the performance of its services, Customer waives any claims for property damage. Customer agrees that under no circumstances shall Orkin be held liable for any amount greater than the amount paid by the Customer to Orkin for the termite service to be performed. **Nothing in this Agreement shall be construed as depriving the Customer of remedies available under applicable state consumer protection laws.**
- LIMITED ASSIGNABILITY:** This Agreement is assignable as a **retreat only** Agreement to the new owner of the property under the following conditions: (a) the new owner presents the Orkin branch office written notice requesting that the Agreement be assigned; (b) Orkin conducts an inspection of the property, the results of which are satisfactory to Orkin; (c) Orkin consents in writing to the assignment of the Agreement; and (d) the new owner pays a transfer fee.
- REINSPECTION:** Orkin shall reinspect the treated structure as deemed necessary by Orkin or once a year, if requested by Customer. An annual inspection will be made by Orkin if required by applicable State law or regulations. Any reinspection is separate from and independent of Customer's obligation to pay the annual renewal.
- CHEMICAL INFORMATION WARNING:** Customer shall notify all persons on the premises that Orkin will be applying pesticides in and around the premises, and that virtually all pesticides have some odor which may be present for a short time after application. If Customer knows of any person on the premises who believes they have a sensitivity to pesticides or who has a medical condition affected by pesticides, then Customer shall so notify Orkin in writing. At Customer's request, Orkin will provide information about the chemicals to be used in treating the premises.
- CONDUCTIVE CONDITIONS:** Conducive Conditions include, but are not limited to: roof leaks, improper ventilation, faulty plumbing, and water leaks or intrusions in or around the structure; inherent structural problems, including, but not limited to, wood to ground contact, masonry failures, and settlement of the foundation; foam insulation, stucco construction, expanded polystyrene or styrofoam molded foundation systems, siding (including vinyl, wood and metal) in contact with the ground, mulch, or other protective ground covering; and firewood, trash, lumber, wood, mulch, shrubs, vines, and other protective ground covering in contact with structure.
- ENTIRE AGREEMENT:** This Agreement and the attached Treatment Report shall be the entire Agreement between Customer and Orkin. No other agreements, understandings or representations, whether written or oral, with respect to the Agreement shall be binding as they shall be merged into and superseded by this Agreement. Customer warrants and acknowledges that Customer has not relied on or been induced by any other agreements, understandings or representations, whether written or oral, in signing this Agreement. The terms of the Agreement stated herein may not be amended or altered unless a written change is approved and signed by a Corporate Officer of Orkin. No other employees or agents of Orkin have authority to amend or alter any part of this Agreement. If any provision or portion thereof, of this Agreement is found to be invalid or unenforceable, it shall not affect the validity or enforceability of any other part of this Agreement. Provided, however, that as to paragraph 4, MEDIATION/ARBITRATION, if the sentence precluding the arbitrator from conducting an arbitration proceeding as a class, representative or private attorney general action is found to be invalid or unenforceable then the entirety of paragraph 4 shall be deemed to be deleted from this Agreement.
- APPLICABLE LAW:** This Agreement shall be governed by and construed under the laws of the State of Georgia, without regard to its conflicts of laws principles.
- FORCE MAJEURE (Circumstances beyond Orkin's control):** Orkin's obligations under this Agreement shall be cancelled if Orkin cannot perform its responsibilities due to Acts of God, including, earthquakes, storms, fires, floods, or because of a material change in circumstances including but not limited to acts of war, inaccessibility of the property, strikes, unavailability of termiticide, baits or other supplies from ordinary sources.
- TERMINATION BY ORKIN:** Orkin may terminate this Agreement, without notice, if the obligations set forth in this Agreement are not met by Customer, or in the event of a change in state or federal law or regulation that materially affects Orkin's obligations under this Agreement.
- MONEY BACK GUARANTEE: ORKIN GUARANTEES THAT IF CUSTOMER IS NOT COMPLETELY SATISFIED WITH ORKIN'S TREATMENT, ORKIN WILL REFUND CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID RENEWAL FEES IF CUSTOMER CONTACTS ORKIN IN WRITING AT THE BRANCH ADDRESS BELOW WITHIN 30 DAYS AFTER CUSTOMER'S INITIAL TREATMENT, AND ORKIN FAILS TO RESOLVE CUSTOMER'S PROBLEM WITHIN 30 DAYS AFTER RECEIVING IT. A REFUND BY ORKIN OF CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID RENEWAL FEES WILL RESULT IN CANCELLATION OF THIS AGREEMENT.**

RJS Realty **6/21/18**
 Customer Date
2600 Broadway
 Street Address (Treated Premises)
Riviera Beach **FL** **33404**
 City State Zip Code
(561) 694-5281 **(561) 694-5281**
 Home Phone Work Phone
 County Name **Palm Beach** Is this within the City Limits? Yes No

RJS Realty
 Billing Name (if different)
2600 Broadway
 Billing Address (if different)
Riviera Beach **FL** **33404**
 City State Zip Code
 Type of structure to be treated **Office Building**

Gary Barnes **676443**
 Inspector Name (PRINT) Employee ID # or Certification #
(561) 713-8499
 Branch Telephone Number
 THIS AGREEMENT IS NOT VALID UNTIL APPROVED BY THE BRANCH MANAGER

6/21/18
 Branch Manager's Signature Date

1. Service Purchased:	
a. Initial Treatment Cost	\$ 2975.00
b. Minus Adjustments	(\$ 0.00)
c. Additional Renewal for _____ Years	\$ 0.00
Subtotal (sum a - b + c)	\$ 2975.00
2. Other Items:	
a. Sales Taxes	\$ 208.75
b. Other Fees	\$ 0.00
Subtotal (sum a + b)	\$ 208.75
3. TOTAL: Price (sum 1 + 2)	\$ 3183.75
4. LESS: Down Payment	(\$ 0.00)
5. Unpaid Balance (3 minus 4)	\$ 3183.75

METHOD OF PAYMENT: FINANCED - See Separate Finance Agreement
 CASH
 CHECK # _____
 COMPLETE EASY PAYMENT FORM - Unpaid Balance Must Be Financed or Due Upon Completion

1592 Donna Road
 Branch Street Address
West Palm Beach **FL** **33409**
 City State Zip Code

6/21/18
 Customer's Signature Date

K. C. MOCK & ASSOCIATES, INC.

REGISTERED ENGINEERS & LAND SURVEYORS

INVESTIGATIONS
REPORTS
DESIGN
LAND PLANNING
SURVEYS
DRAINAGE
SUBDIVISIONS

2930 OKEECHOBEE ROAD
WEST PALM BEACH, FLORIDA

October 6, 1960

OVERLAND 3-3113

P. O. BOX 2889

Mr. Frank J. Walker
President
Florida Development Services, Inc.
8340 N. E. 2nd Avenue
Miami 38, Florida

Dear Mr. Walker:

This letter and the accompanying boring logs (6 copies as requested) are to certify that a comprehensive study was performed on Lots 59 and 60, according to the Plat of Inlet Shores, Plat No. 2, as recorded in Plat Book 13, Page 8, in and for the records of Palm Beach County, Florida, subject to rights-of-way and easements of record, as set forth under instructions in your letter dated September 28, 1960.

The synopsis of the investigation performed is that the building site, as located from the test holes designated, is located on soil of high bearing value capacity, conservatively estimated at a value of 4 to 5 tons/square foot with an average penetration of 30 blows/ft. This criteria denotes that the material has a descriptive term signifying a compact condition.

The conclusion derived from this investigation is that abnormal design and construction methods are not required; piling is not needed and that the soil will withstand a surcharge load imposed by a commercial building of at least two stories high.

Samples of the borings are being retained in this office for your inspection if desired.

We thank you for this opportunity to be of service to you, and look forward to the privilege of assisting you on any further engineering problems you may have.

Very truly yours,

K. C. MOCK & ASSOCIATES, INC.

William G. Wallace

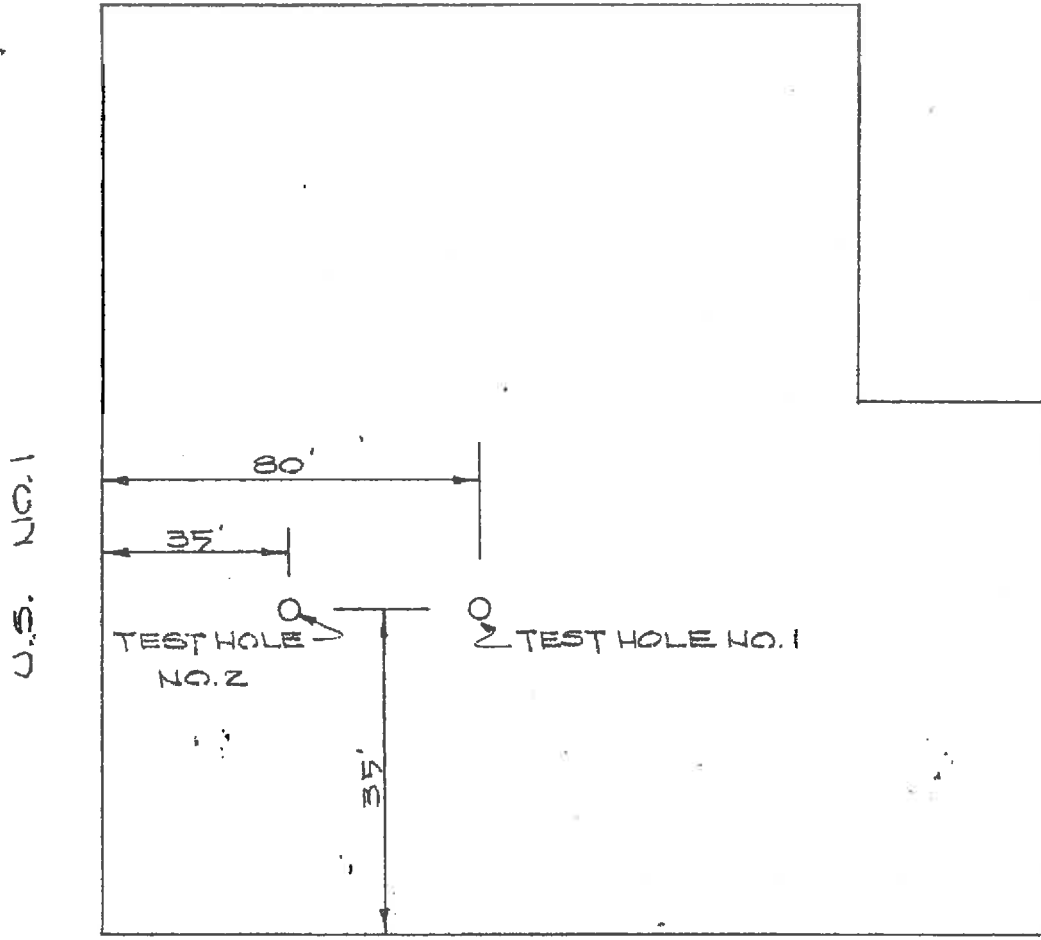
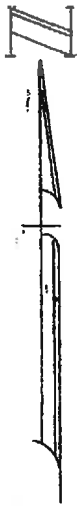
William G. Wallace
Registered Civil Engineer
No. 4801 - State of Florida

WGW:LA

cc Mr. Robert Crowell ✓

LOCATION OF SOIL TEST BORINGS

COMMUNITY FEDERAL SAVINGS AND LOAN ASSOCIATION SITE ON
NORTHEAST CORNER OF U.S. 1 & BLUE HERON BLYD., RIVERA BEACH, FLORIDA.



NO SCALE

BLUE HERON BOULEVARD

BORING LOG

TEST HOLE NUMBER ONE

K.C. MOCK & ASSOCIATES, INC.
ENGINEERS

<u>ELEV.</u>	<u>BLOWS/FT.</u>	<u>SAMPLE NO.</u>	<u>REMARKS</u>
NAT. GR			
5'			DARK TAN SAND
6'	15		MEDIUM SIZE
7'	19	1	GRAINS, CLEAN
8'	40		
9'	34		TAN SAND WITH
10'	36	2	FRAGMENTS OF
			SHELL
			RICH YELLOW
15'			SAND; CLEAN
16'			
17'	27		
18'	35	3	
			PALE YELLOW
20'			SAND; CLEAN
21'	34		
22'	58	4	
			LIGHT GRAY
25'			SAND - VERY
26'			FINE GRANULES,
27'	27		MIXED LARGER GRAINS
28'	25	5	
			LIGHT GRAY
30'			SAND - CLEAN;
31'	54		VERY FINE
32'	51		GRANULES
33'	36	6	
			PALE WHITE
35'	37		SAND - CLEAN;
36'	16		VERY FINE
37'	7	7	GRANULES.
38'			
40'			SAME AS ABOVE
41'	42		
42'	17		
43'	10		

NOTE: GOW SPLIT SPOON METHOD
140 LB. HAMMER;
FALL 30"

W.O. 60-509
10-7-60

BORING LOG

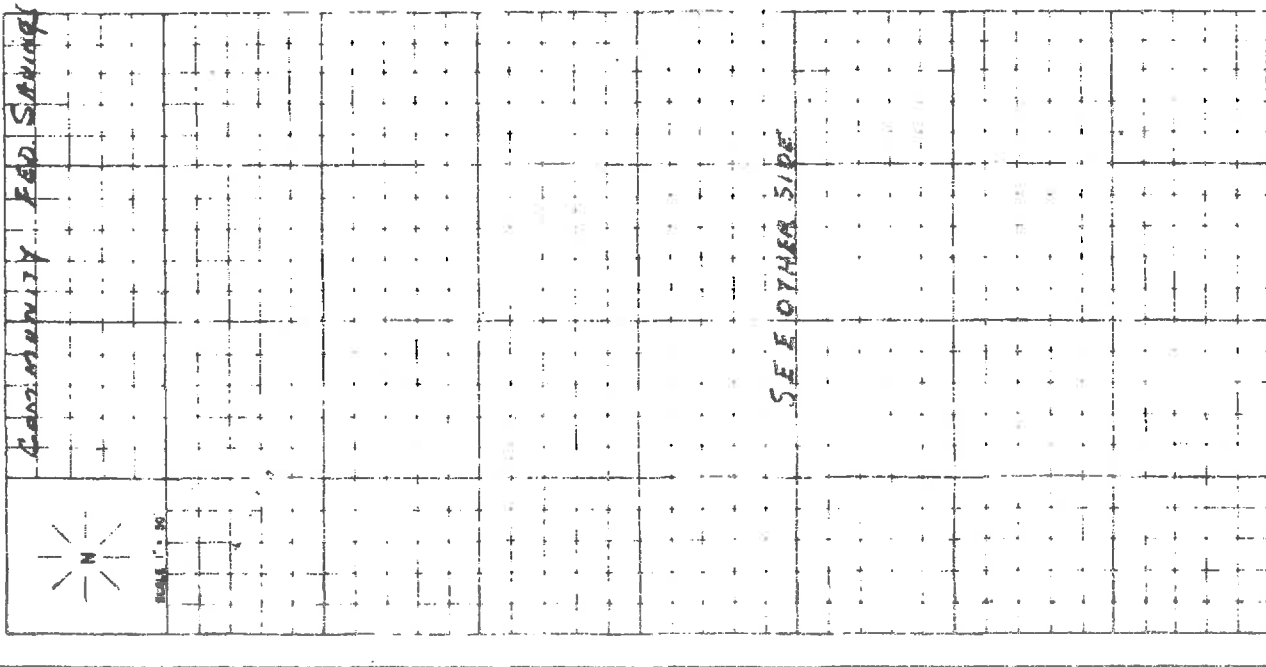
TEST HOLE NUMBER TWO

K.C. MOCK & ASSOCIATES, INC.
ENGINEERS

<u>ELEV.</u>	<u>BLOWS/FT.</u>	<u>SAMPLE NO.</u>	<u>REMARKS</u>
NAT. GR.			
5'			DARK TAN SAND, MEDIUM SIZE GRAINS WITH A LAYER OF DARK GRAY SAND AT BOTTOM PORTION.
6'	14		
7'	21		
8'	23	<u>9</u>	
10'			PALE YELLOW SAND, CLEAN
11'	20		
12'	25		
13'	29	<u>10</u>	
15'			VERY PALE YELLOW SAND TO A LIGHT SHADE OF GRAY-FINE GRAINS-VERY FEW LARGE GRAINS MIXED
16'	20		
17'	28		
18'	34	<u>11</u>	
20'			LIGHT GRAY SAND, VERY FINE GRANULES, CLEAN.
21'	41		
22'	82	<u>12</u>	
25'			
26'	52		LIGHT GRAY SAND; VERY FINE GRAINS MIXED WITH FEW LARGE GRAINS
27'	35	<u>13</u>	

NOTE: GOW SPLIT SPOON METHOD
140 LB. HAMMER;
FALL 30"

COMMERCIAL and INDUSTRIAL
PROPERTY RECORD CARD,
RIVIERA BEACH, FLORIDA



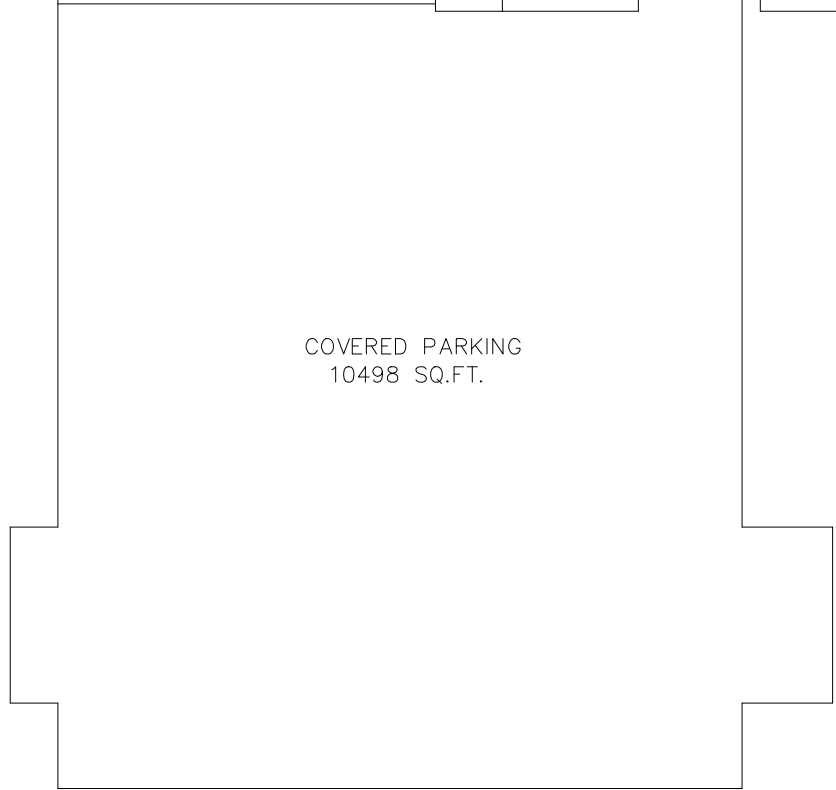
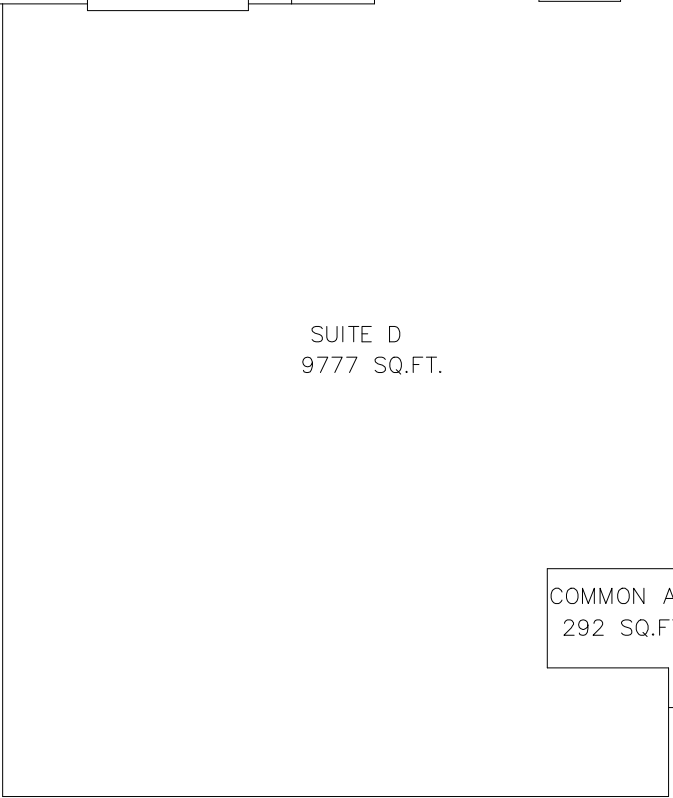
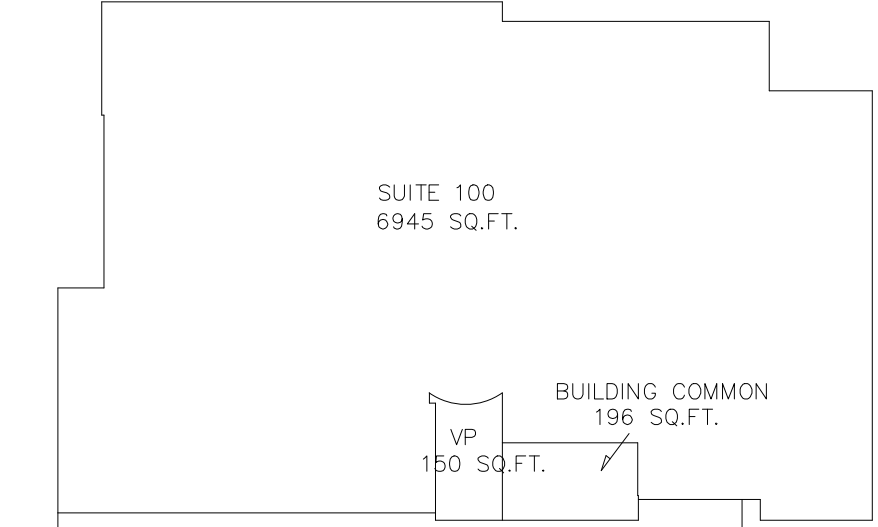
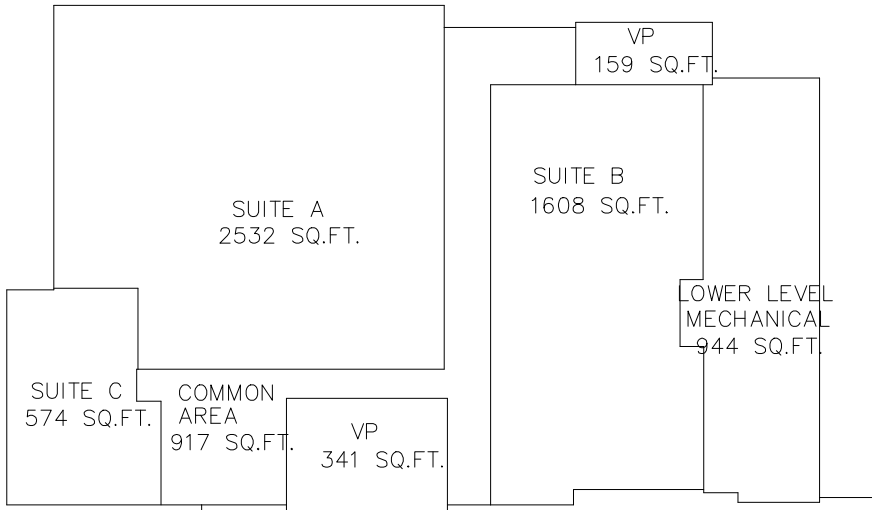
PLOTTED BY: **EA-C** DATE: **1-30-63**
 CLASSIFIED BY: **EA-C** DATE: **1-30-63**
 DRAWN BY: **EA-C** DATE: **1-30-63**
 CLASSIFIED BY: **EA-C** DATE: **1-30-63**

BUILDING	CONSTRUCTION DATA				BUILDINGS	ROOMS	REPL. COST	RATE	PLATS	COND	ADJ.	VALUE
	1	2	3	4								
1. BANK	Wood	Roof Frame	Shore Units	Office Units	5	5						
2.	Steel	RC Concrete	Rooms	Efficiency Apts.								
3.	Notes	Notes	Rm. Apts	Rm. Apts								
4.	Notes	Notes	Rm. Apts	Rm. Apts								
Slab	Notes	Notes	Notes	Notes								
Piers	Notes	Notes	Notes	Notes								
Continuous Wall	Notes	Notes	Notes	Notes								
Conc. Bent Floor	Notes	Notes	Notes	Notes								
Finished Basement	Notes	Notes	Notes	Notes								
Notes	Notes	Notes	Notes	Notes								
WALL FRAME	Notes	Notes	Notes	Notes								
Wood Light	Notes	Notes	Notes	Notes								
Wood Heavy	Notes	Notes	Notes	Notes								
Conc. Block	Notes	Notes	Notes	Notes								
Tile	Notes	Notes	Notes	Notes								
Brick	Notes	Notes	Notes	Notes								
Rf. Concrete	Notes	Notes	Notes	Notes								
Steel	Notes	Notes	Notes	Notes								
Rf. Conc. & Steel	Notes	Notes	Notes	Notes								
stone	Notes	Notes	Notes	Notes								
Notes	Notes	Notes	Notes	Notes								
EXTERIOR WALLS	Notes	Notes	Notes	Notes								
Sheathing	Notes	Notes	Notes	Notes								
Unfinished	Notes	Notes	Notes	Notes								
Roll	Notes	Notes	Notes	Notes								
Sheet	Notes	Notes	Notes	Notes								
Shingles	Notes	Notes	Notes	Notes								
Composition	Notes	Notes	Notes	Notes								
Metal	Notes	Notes	Notes	Notes								
Stucco	Notes	Notes	Notes	Notes								
Wood	Notes	Notes	Notes	Notes								
Tile	Notes	Notes	Notes	Notes								
Concrete Block	Notes	Notes	Notes	Notes								
Common Brick	Notes	Notes	Notes	Notes								
Egg Brick	Notes	Notes	Notes	Notes								
None	Notes	Notes	Notes	Notes								
Plain Front	Notes	Notes	Notes	Notes								
Average Front	Notes	Notes	Notes	Notes								
Elaborate Front	Notes	Notes	Notes	Notes								
Notes	Notes	Notes	Notes	Notes								

CARDS	MAP NO.	SEC.	TWP.	RANGE	PARCEL NO.
12	4-4				1661
SUBDIVISION					
BUILDING					
ROOMS					
REPL. COST					
RATE					
PLATS					
COND					
ADJ.					
VALUE					

REPL. COST	RATE	PLATS	COND	ADJ.	VALUE
586.82	8.14		98		51,600
2700	10		95		2,000
180	25		98		1,700
1.25	1112		231		28,880
50			230		1,230
85	125		97.10		8,340
31.160	31.160				
107,500	138,960				
31.160	31.160				

2601 **BOGARDWAY**
 DRAWN BY: **EA-C** DATE: **1-30-63**
 CLASSIFIED BY: **EA-C** DATE: **1-30-63**



2nd FLOOR

1st FLOOR

1" = 6' 12"
SCALE



2600 BROADWAY
RIVIERA BEACH, FL.
AS MEASURED JANUARY 11, 2015

