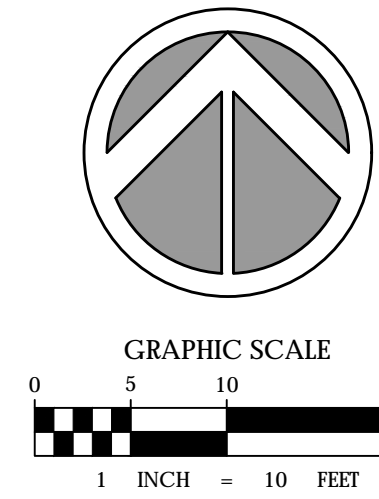


ADJACENT PROPERTY
 ZONING: RS-8 SINGLE FAMILY DWELLING
 FUTURE LAND USE: SINGLE FAMILY RESIDENTIAL,
 UP TO 6 DWELLING UNITS PER ACRE



LOCATION MAP



PROJECT LOCATION

CHEN-MOORE
 & ASSOCIATES
 500 Australian Avenue South
 Suite 530
 West Palm Beach, FL 33401
 561.746.6900
 www.chenmoore.com
 CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

REGISTRATION
 SUZANNE DOMBROWSKI
 REGISTRATION NO. PE-69918
 DATE: _____

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

**RIVIERA BEACH
 HEIGHTS
 COMMUNITY
 CENTER**

RIVIERA BEACH, FL

PROJECT NUMBER
 15.221.002

CLIENT PROJECT NUMBER

VERIFY SCALES

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**COMMUNITY
 CENTER SITE PLAN**

DRAWING NUMBER

SP-1
 OF

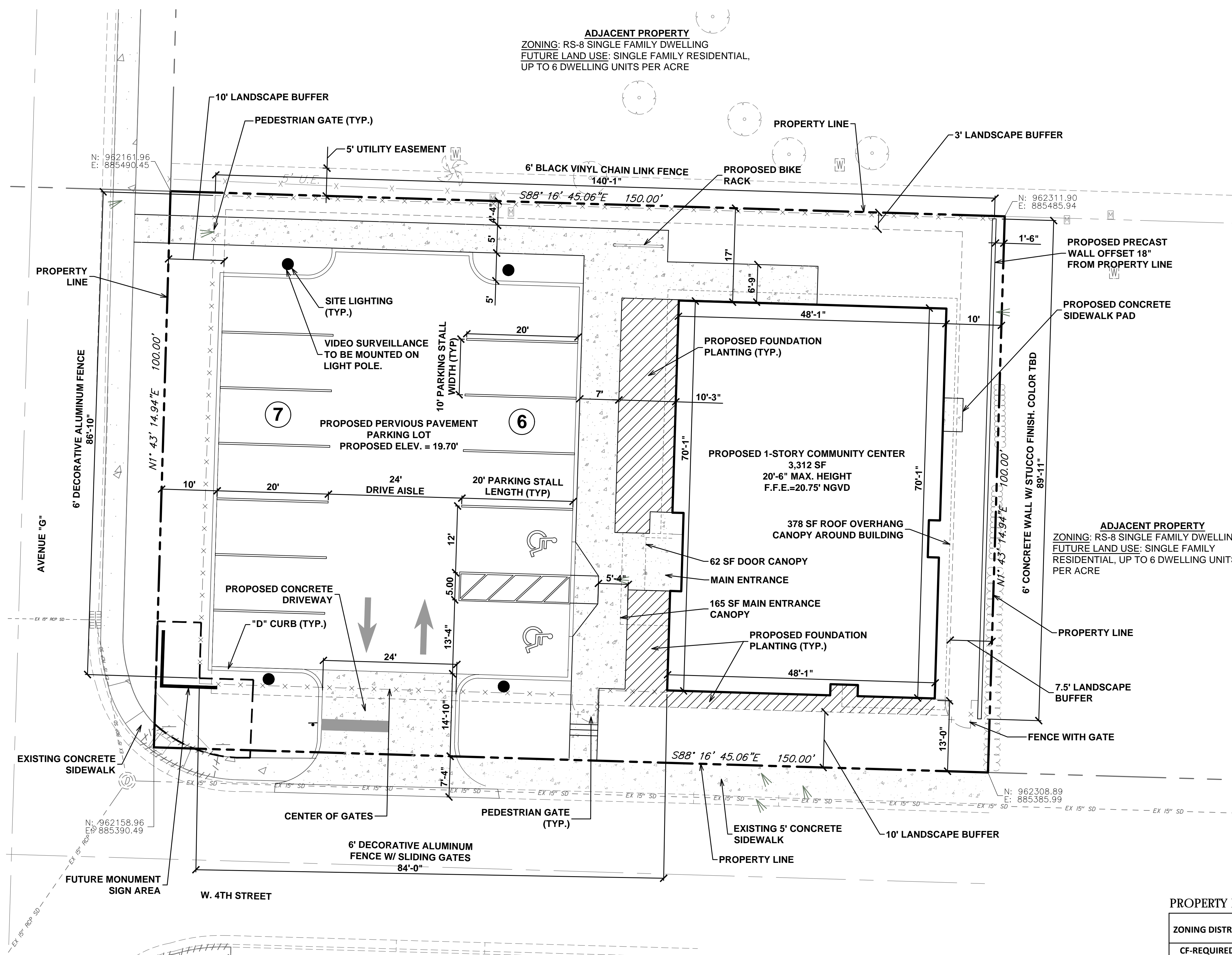
SITE DATA

APPLICATION NAME	RIVIERA BEACH HEIGHTS COMMUNITY CENTER
APPLICATION #	SP-17-08
LAND USE DESIGNATION	COMMUNITY FACILITY
ZONING DISTRICT	CF
PROPERTY CONTROL NUMBERS	56434233090000520 56434233090000510 56434233080000310
USE	COMMUNITY FACILITY
SECTION/TOWNSHIP/RANGE	32/42/43
COMMUNITY CENTER PARCEL AREA	15,000 SF
OVERFLOW PARKING LOT PARCEL AREA (SEE SHEET SP-2)	10,000 SF
TOTAL AREA	25,000 SF
COMMUNITY CENTER PARCEL	
BUILDING AREA	3,312 SF (22%)
IMPERVIOUS AREA	6,689 SF (45%)
PERVIOUS AREA	4,999 SF (33%)
COMMUNITY CENTER PARCEL AREA	15,000 SF
OVERFLOW PARKING LOT PARCEL (SEE SHEET SP-2)	
BUILDING AREA	0 SF (0%)
IMPERVIOUS AREA	5,810 SF (58%)
PERVIOUS AREA	4,190 SF (42%)
OVERFLOW PARKING LOT PARCEL AREA	10,000 SF
BUILDING DATA	
EVENT SPACE	1,491 SF
OFFICE SPACE	348 SF
COMMON AREA	1,473 SF
TOTAL BUILDING AREA	3,312 SF
MAX. BUILDING HEIGHT	20'-6"
REQUIRED PARKING (1 SPACE PER 200 SF)	
TOTAL BUILDING AREA (3,312 SF)	16.56 PARKING SPACES = 17 REQUIRED
PROPOSED PARKING (INCLUDING OVERFLOW PARKING AREA)	
STANDARD PARKING SPACES (10'X20')	25
ACCESSIBLE SPACES (12'X20')	2

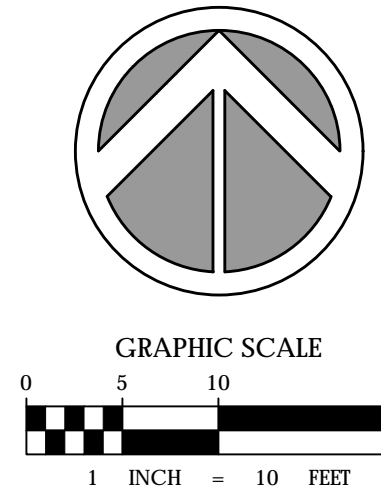
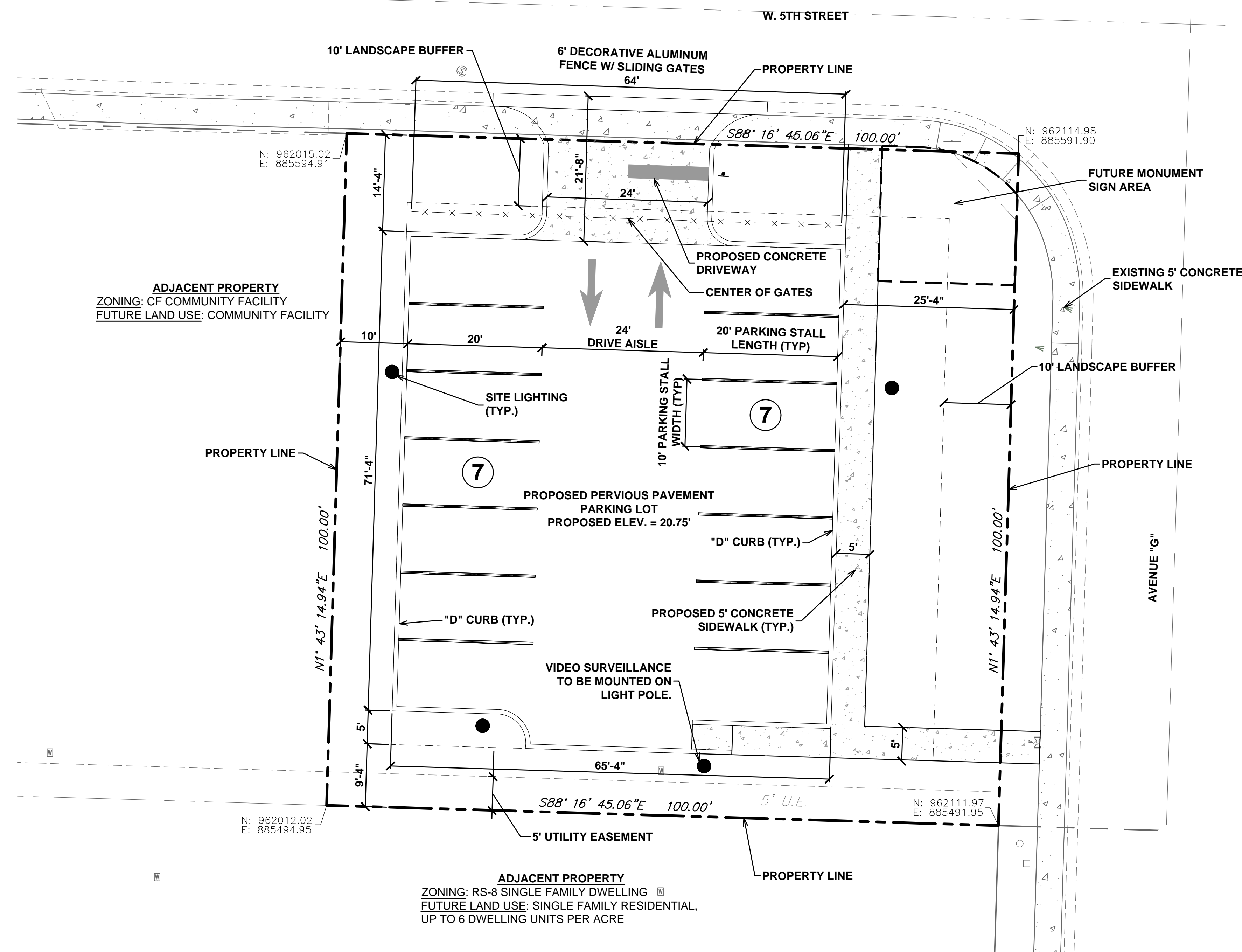
PROPERTY DEVELOPMENT REGULATIONS

ZONING DISTRICT	PROPERTY SIZE	MAX. BUILDING AREA (% OF PARCEL)	MIN. BUILDING SETBACKS			
			FRONT	SIDE	STREET	REAR
CF-REQUIRED	5,000 SF	35% MAX. (5,250 SF)	20'	7'	12'-6"	15'
CF-PROPOSED	15,000 SF	22% (3,312 SF)	13'	10'	92'	17'

Plot Date: 12/21/2017 1:33:55 PM Username: asavage Layout Name: SP-1
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Plot Date: 12/21/2017 1:37:35 PM Username: asavage Layout Name: SP-2 Folder Path: V:\Projects\2015\15-221.002 - Riviera Beach Heights Community Center\Design\CAD\Plans\Administrative Approval Filename: Site Plan.dwg



LOCATION MAP



SITE DATA

APPLICATION NAME	RIVIERA BEACH HEIGHTS COMMUNITY CENTER
APPLICATION #	SP-17-08
LAND USE DESIGNATION	COMMUNITY FACILITY
ZONING DISTRICT	CF
PROPERTY CONTROL NUMBERS	56434233090000520 56434233090000510 56434233080000310
USE	COMMUNITY FACILITY
SECTION/TOWNSHIP/RANGE	32/42/43
COMMUNITY CENTER PARCEL AREA	15,000 SF
OVERFLOW PARKING LOT PARCEL AREA (SEE SHEET SP-2)	10,000 SF
TOTAL AREA	25,000 SF
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BUILDING AREA	3,312 SF (22%)
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PERVIOUS AREA	4,999 SF (33%)
COMMUNITY CENTER PARCEL AREA	15,000 SF
OVERFLOW PARKING LOT PARCEL (SEE SHEET SP-2)	
BUILDING AREA	0 SF (0%)
IMPERVIOUS AREA	5,810 SF (58%)
PERVIOUS AREA	4,190 SF (42%)
OVERFLOW PARKING LOT PARCEL AREA	10,000 SF
BUILDING DATA	
EVENT SPACE	1,491 SF
OFFICE SPACE	348 SF
COMMON AREA	1,473 SF
TOTAL BUILDING AREA	3,312 SF
MAX. BUILDING HEIGHT	20'-6"
REQUIRED PARKING (1 SPACE PER 200 SF)	
TOTAL BUILDING AREA (3,312 SF)	16.56 PARKING SPACES = 17 REQUIRED
PROPOSED PARKING (INCLUDING OVERFLOW PARKING AREA)	
STANDARD PARKING SPACES (10'X20')	25
ACCESSIBLE SPACES (12'X20')	2

PROPERTY DEVELOPMENT REGULATIONS

ZONING DISTRICT	PROPERTY SIZE	MAX. BUILDING AREA (% OF PARCEL)	MIN. BUILDING SETBACKS			
			FRONT	SIDE	STREET	REAR
CF-REQUIRED	5,000 SF	35% MAX. (5,250 SF)	20'	7'	12'-6"	15'
CF-PROPOSED	10,000 SF	0% (0 SF)	13'	10'	92'	17'

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

**RIVIERA BEACH
HEIGHTS
COMMUNITY
CENTER**

RIVIERA BEACH, FL

PROJECT NUMBER
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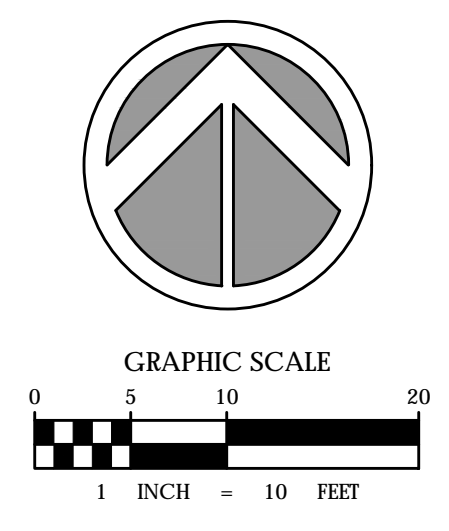
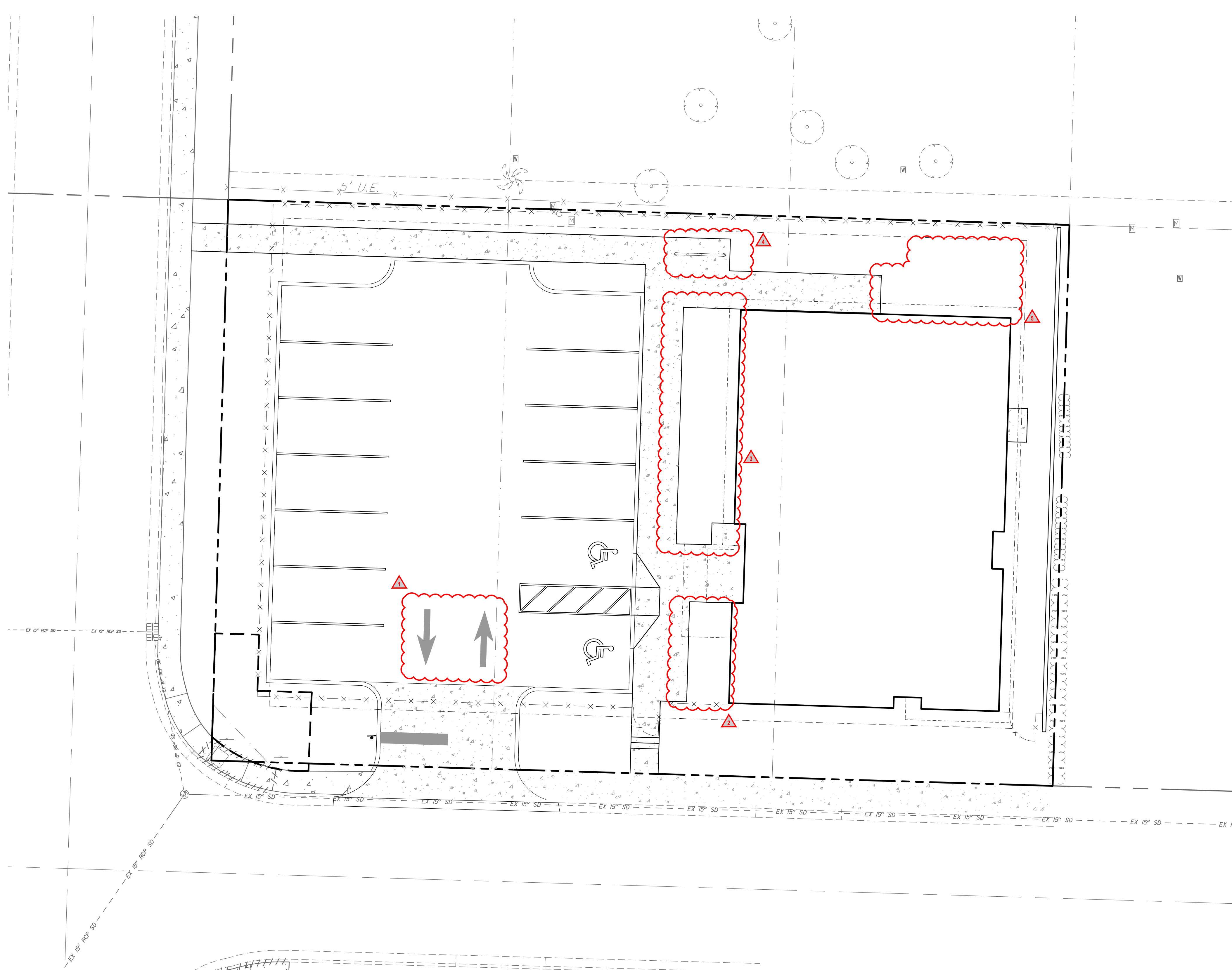
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**OVERFLOW
PARKING LOT SITE
PLAN (BID
ALTERNATE 1)**

DRAWING NUMBER

SP-2
OF

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LEGEND
 AREAS WITH SITE PLAN CHANGES

SITE PLAN CHANGES

- ADDITION OF DIRECTIONAL ARROW PAVEMENT MARKINGS
- BUILDING SIZE REDUCTION
- BUILDING SIZE REDUCTION, REMOVAL OF FRONT PATIO, AND SIDEWALK RECONFIGURATION
- BIKE RACK LOCATION CHANGE AND SIDEWALK RECONFIGURATION
- BUILDING SIZE REDUCTION AND SIDEWALK RECONFIGURATION

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REGISTRATION
 SUZANNE DOMBROWSKI
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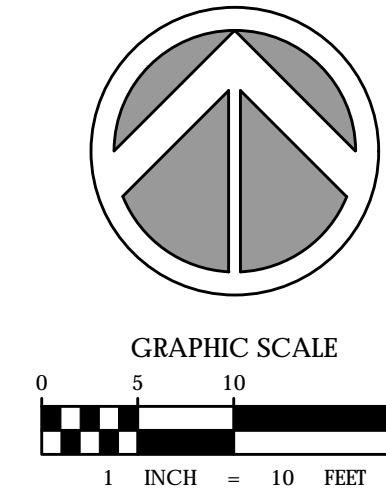
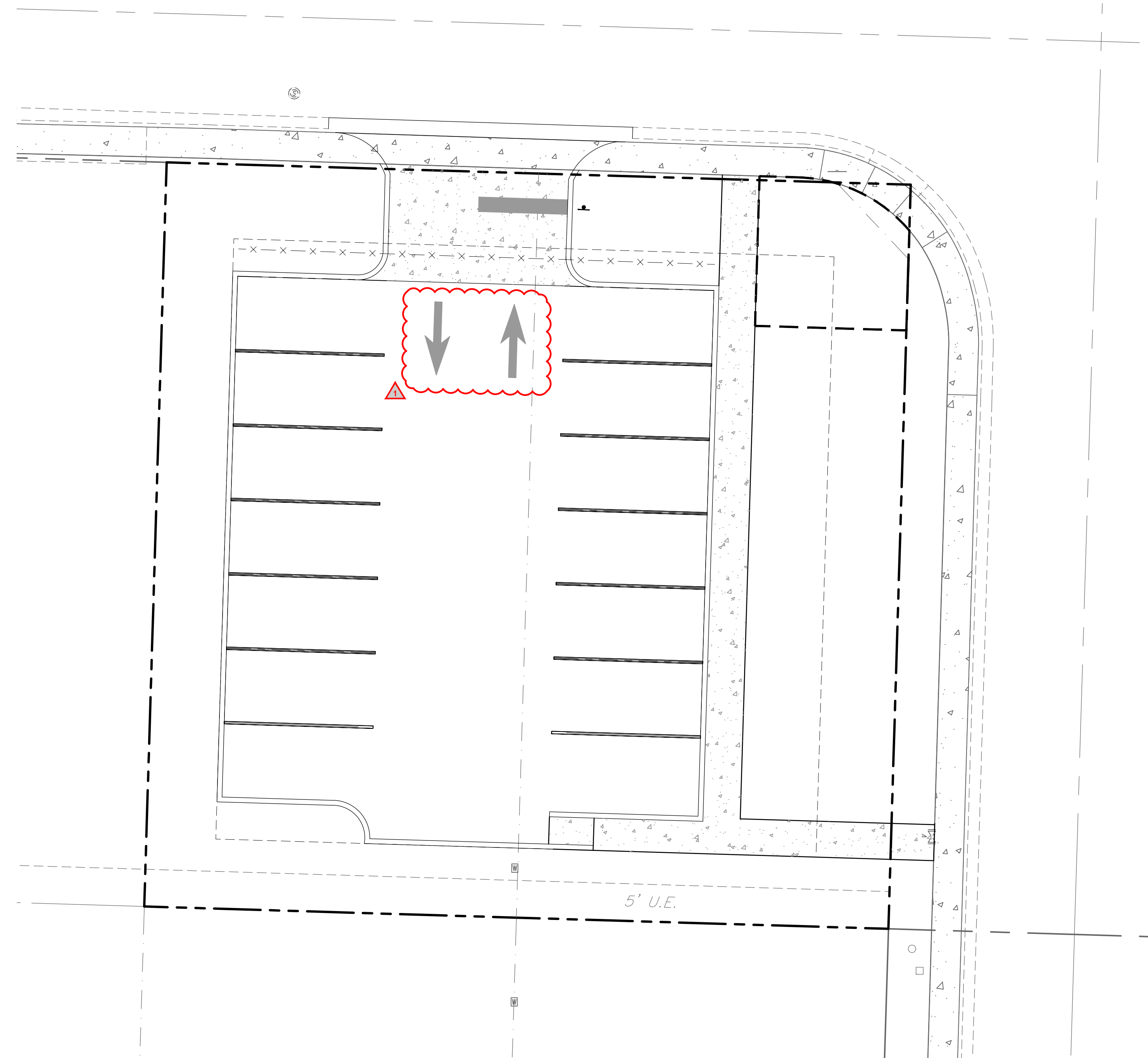
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**COMMUNITY
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DRAWING NUMBER
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LOCATION MAP



LEGEND

AREAS WITH SITE PLAN CHANGES

SITE PLAN CHANGES

ADDITION OF DIRECTIONAL ARROW PAVEMENT MARKINGS

SUB-CONSULTANT

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PROJECT INFORMATION

**RIVIERA BEACH
 HEIGHTS
 COMMUNITY
 CENTER**

RIVIERA BEACH, FL

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**OVERFLOW
 PARKING LOT SITE
 PLAN (BID
 ALTERNATE 1)**

DRAWING NUMBER
SP-2
 OF



**RIVIERA BEACH
 HEIGHTS
 COMMUNITY
 CENTER**

RIVIERA BEACH, FL

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**COMMUNITY
 CENTER
 LANDSCAPE
 PLAN**

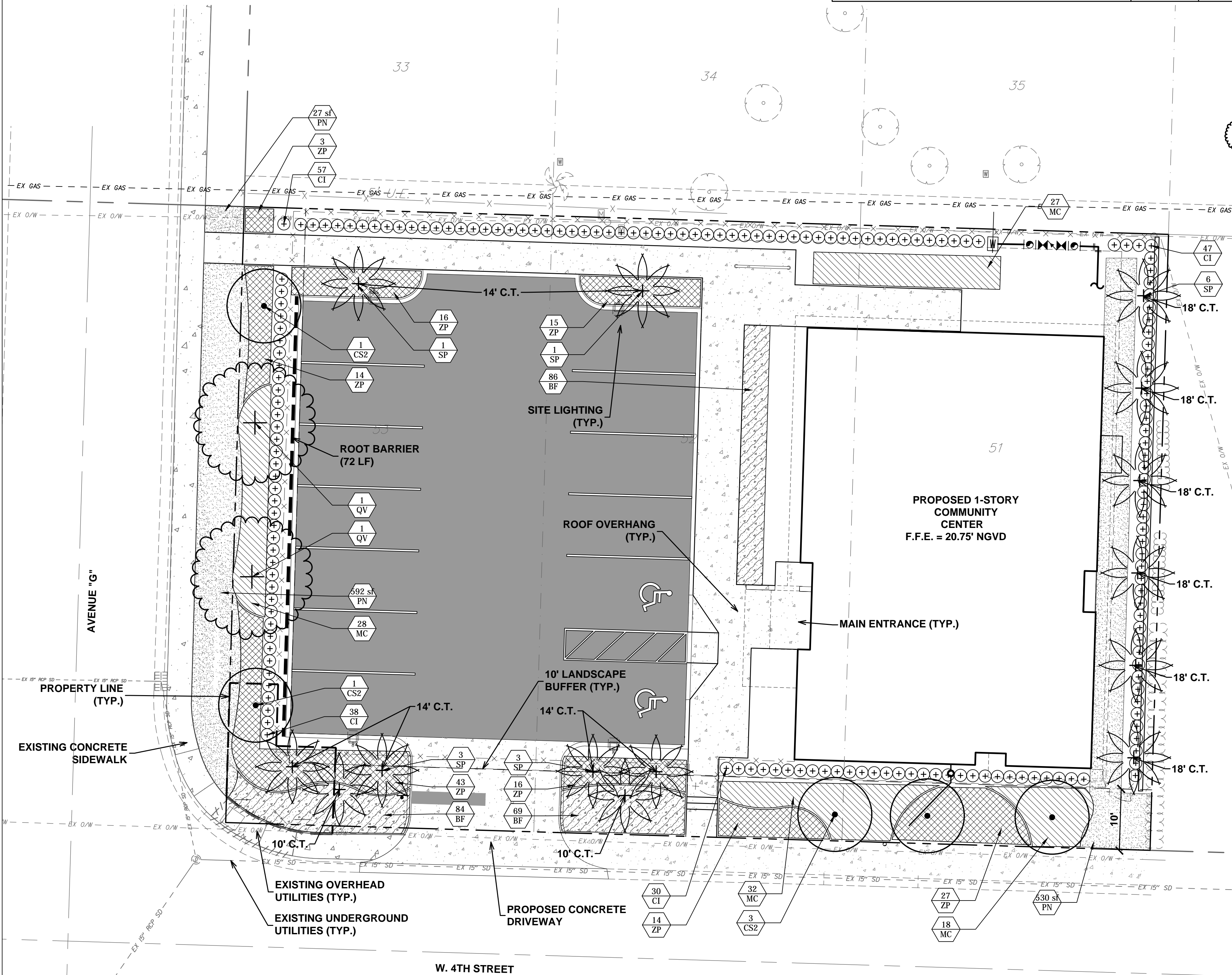
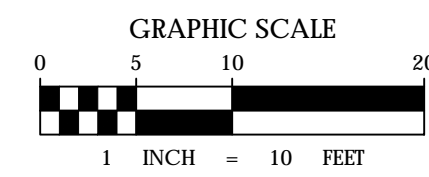
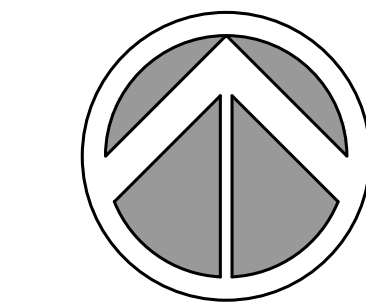
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L1.01
 OF

SITE LANDSCAPE DATA TABLE: COMMUNITY CENTER

LAND USE CATEGORY: RS-8 SINGLE FAMILY DWELLING	#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED	TREE VALIDATION/LOCATION
SEC. 31-609 DEVELOPMENT LANDSCAPE REQUIREMENTS							
1 TREE PER 1,500 SF	15,000	10	21	X	X	21	(5) SILVER BUTTONWOOD, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES. (2) LIVE OAKS, (14) CABBAGE PALMS, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES
MIN. 20% OF DEVELOPED SITE SHALL BE LANDSCAPED		3,000	4,282				73% SHRUBS/ GROUNDCOVERS AND 27% BAHIA TURF
SEC. 31-610 PARKING AREAS FOR NONRESIDENTIAL DEVELOPMENTS							
AVENUE G: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	100	5	5	X	X	5	PROPOSED TREES: (2) SILVER BUTTONWOOD, (2) LIVE OAK, (1) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF.
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	
WEST 4TH STREET: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	80	4	8	X	X	8	PROPOSED TREES: (3) SILVER BUTTONWOOD, (5) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	

PLANT SCHEDULE COMMUNITY CENTER

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	CS2	5	Silver Buttonwood	Conocarpus erectus 'Sericeus'	F.G.	12' OAH, 2' DBH MIN.	Yes	
	QV	2	Park Side Live Oak	Quercus virginiana 'Park Side' TM	F.G.	14' HT, 5' SPRD, 4" DBH	Yes	
	SP	14	Cabbage Palmetto	Sabal palmetto	F.G.	10'-14', 18' CT., Stag. Ht.	Yes	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CI	172	Coco Plum	Chrysobalanus icaco	7 gal	Min. 36" ht x 24" sprd.	Yes	24" o.c.
	BF	239	Stalked Bulbine	Bulbine frutescens	1 gal.	MIN 12" FULL	No	18" o.c.
	MC	105	Pink Muhly	Muhlenbergia capillaris	3 gal.	MIN. 24" HT.	Yes	30" o.c.
	ZP	148	Coontie	Zamia pumila	3 gal.	14" HT, 14" SPRD	Yes	30" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	PN	1,150 sf	Bahia Grass	Paspalum notatum	Solid Sod	FULL	No	



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**RIVIERA BEACH
 HEIGHTS
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RIVIERA BEACH, FL

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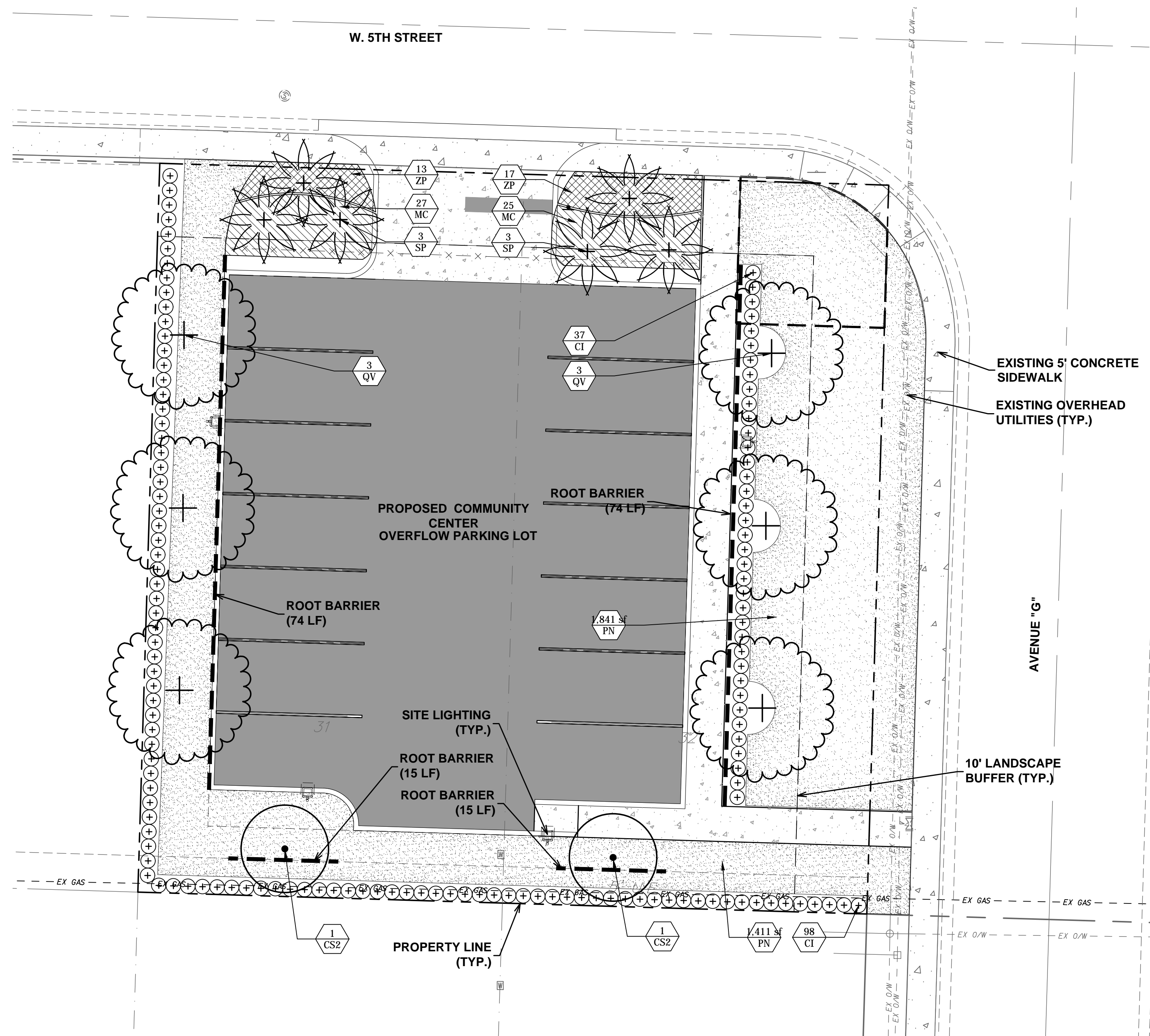
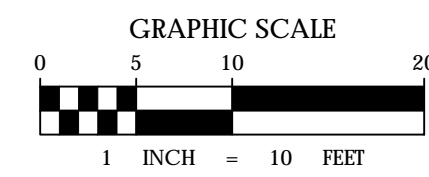
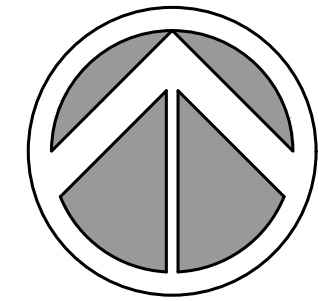
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**OVERFLOW
 PARKING
 LANDSCAPE PLAN
 (BID ALTERNATE 1)**

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 OF

SITE LANDSCAPE DATA TABLE: OVERFLOW PARKING LOT

LAND USE CATEGORY: RS-8 SINGLE FAMILY DWELLING	#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED	TREE VALADATION/LOCATION
CODE APPLICATION							
SEC. 31-609 DEVELOPMENT LANDSCAPE REQUIREMENTS							
1 TREE PER 1,500 SF	10,000	7	14	X	X	14	(2) SILVER BUTTONWOOD, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES. (6) LIVE OAKS, (6) CABBAGE PALMS,
MIN. 20% OF DEVELOPED SITE SHALL BE LANDSCAPED		2,000	4,290				28% SHRUBS/ GROUNDCOVERS AND 72% BAHIA TURF
SEC. 31-610 PARKING AREAS FOR NONRESIDENTIAL DEVELOPMENTS							
AVENUE G: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	75	4	4	X	X	4	PROPOSED TREES: (1) SILVER BUTTONWOOD, (3) LIVE OAK. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	
WEST 5TH STREET: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	65	4	7	X	X	7	PROPOSED TREES: (1) LIVE OAK, (6) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	



PLANT SCHEDULE OVERFLOW PARKING

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	CS2	2	Silver Buttonwood	Conocarpus erectus 'Sericeus'	F.G.	12" OAH, 2" DBH MIN.	Yes	
	QV	6	Park Side Live Oak	Quercus virginiana 'Park Side' TM	F.G.	14' HT, 5" SPRD, 4" DBH	Yes	
	SP	6	Cabbage Palmetto	Sabal palmetto	F.G.	10', 14', 18" CT, Stag. Ht.	Yes	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CI	135	Coco Plum Full to ground, Min. 24" sprd.	Chrysobalanus icaco	7 gal	Min. 36" ht x 24" sprd.	Yes	24" o.c.
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	MC	52	Pink Muhly	Muhlenbergia capillaris	3 gal.	MIN. 24" HT.	Yes	30" o.c.
	ZP	30	Coontie	Zamia pumila	3 gal.	14" HT, 14" SPRD	Yes	30" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	PN	3,252 sf	Bahia Grass	Paspalum notatum	Solid Sod	FULL	No	



**RIVIERA BEACH
 HEIGHTS
 COMMUNITY
 CENTER**

RIVIERA BEACH, FL

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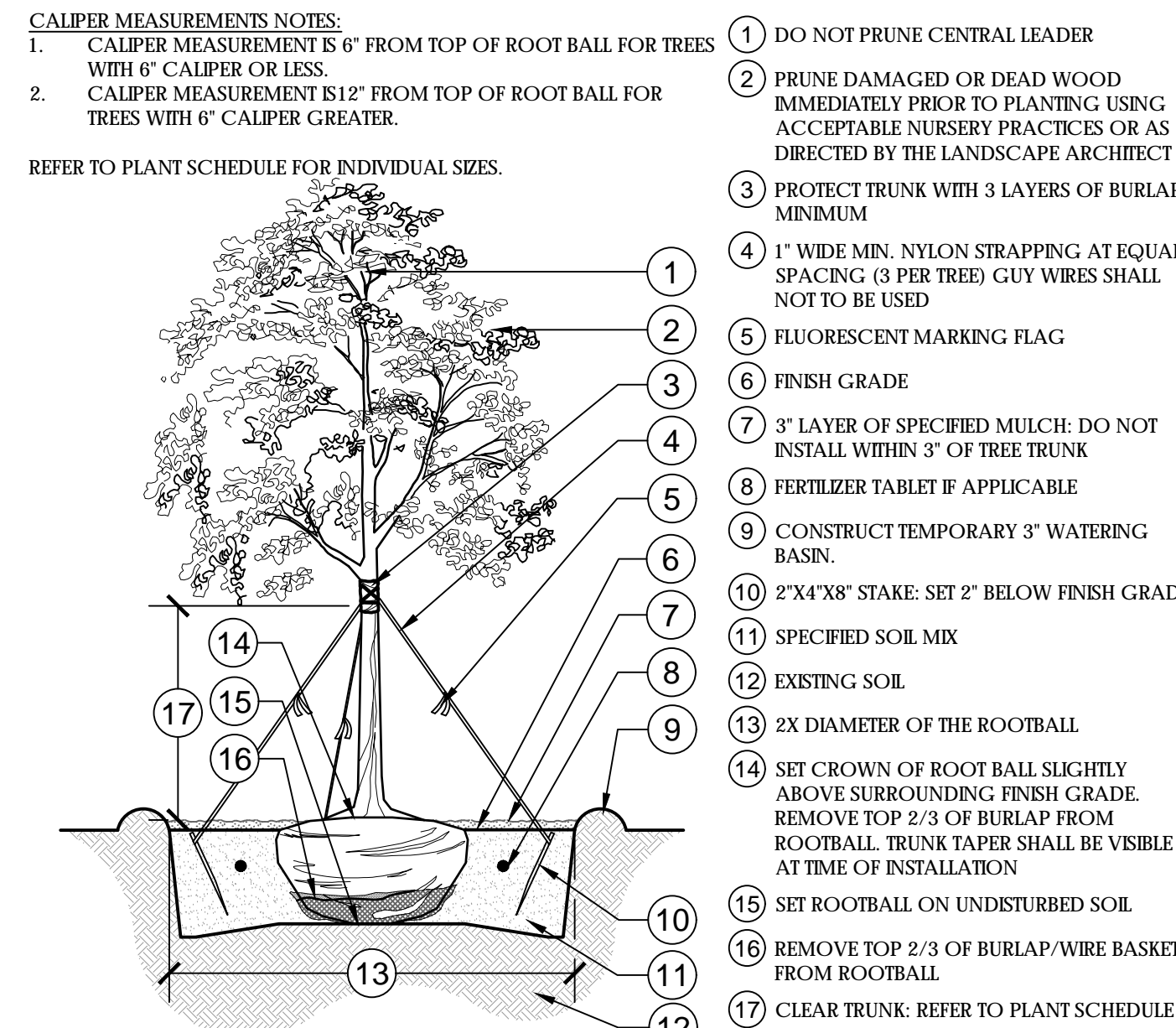
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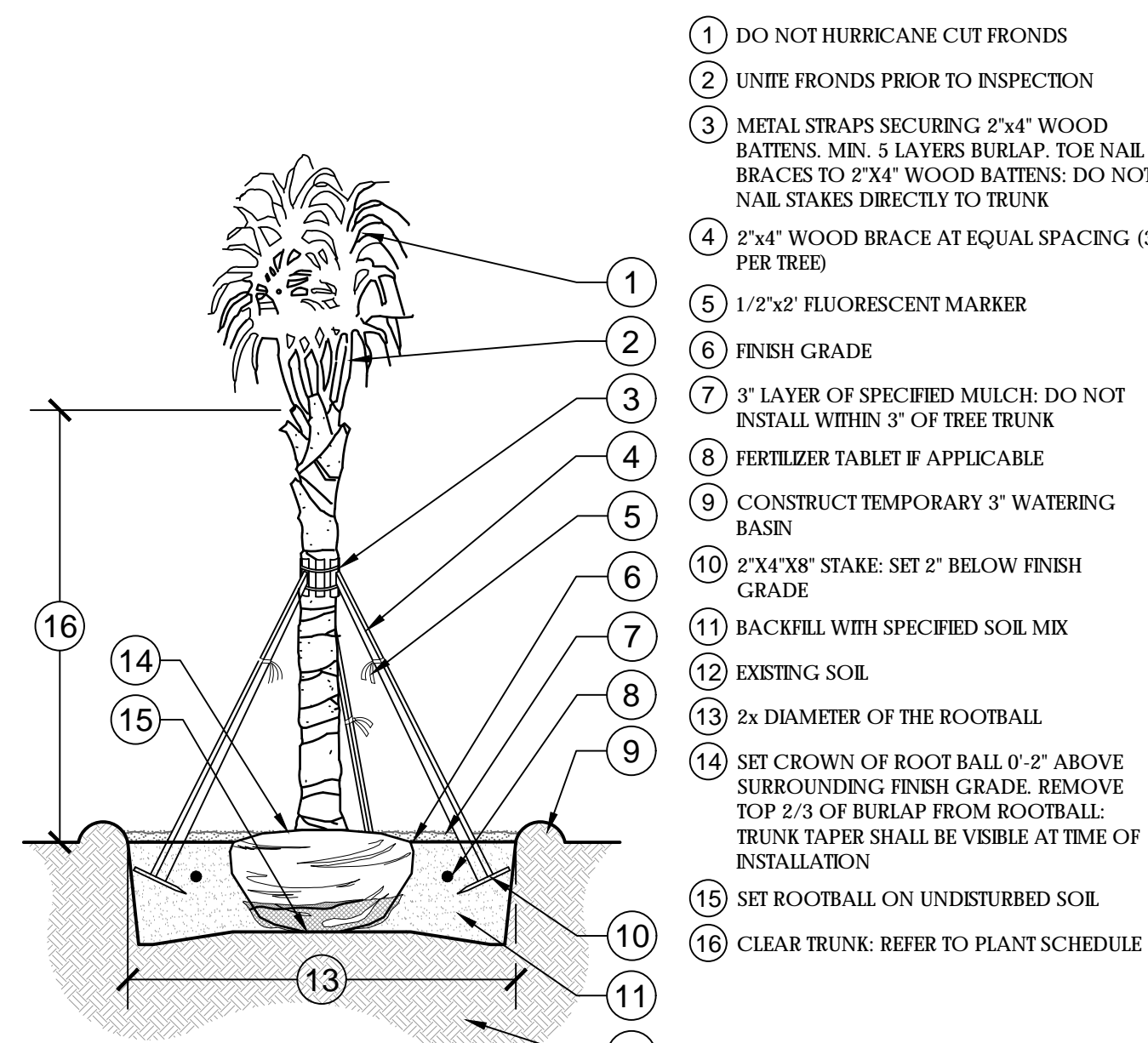
**LANDSCAPE
 DETAILS**

DRAWING NUMBER

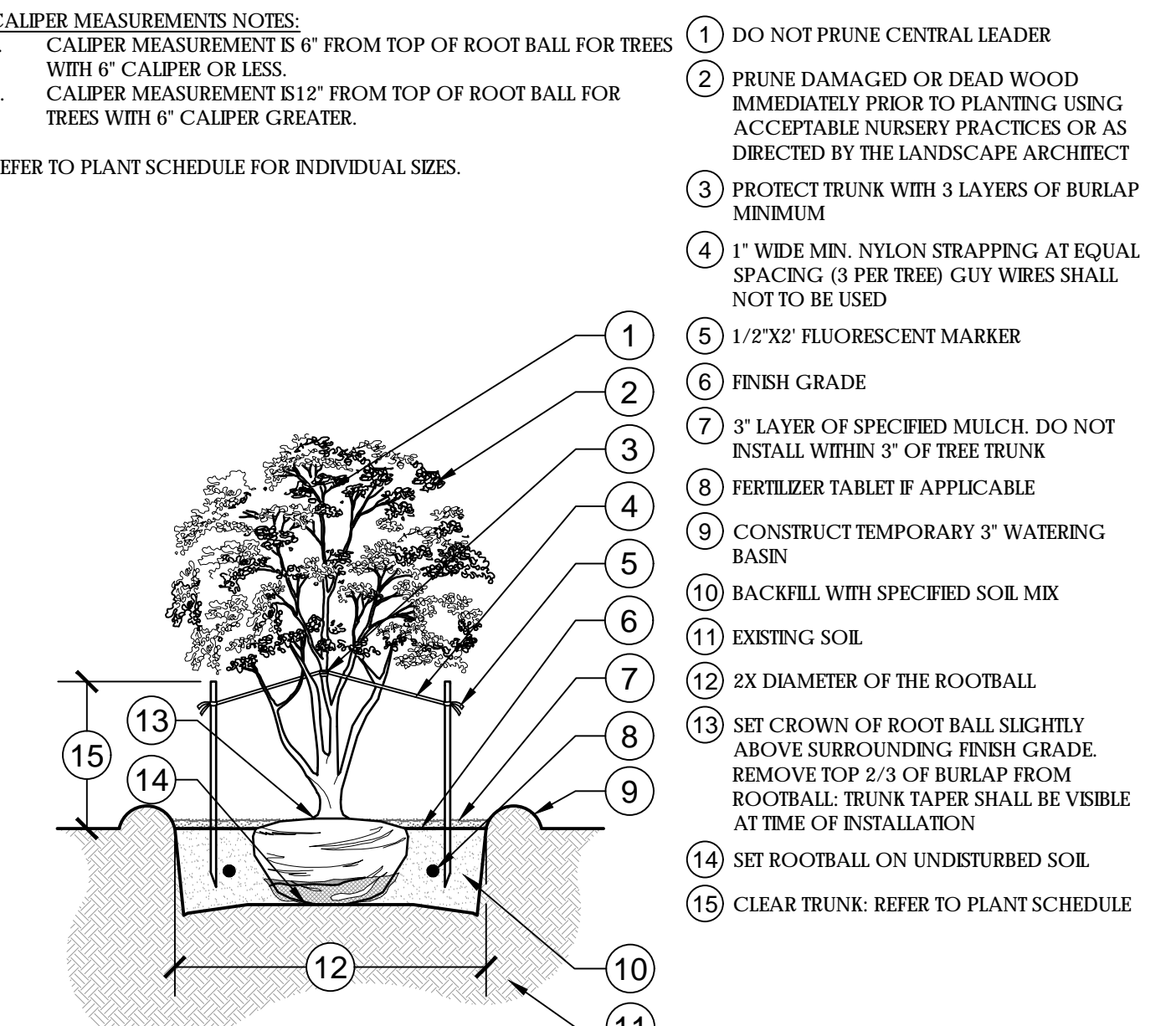
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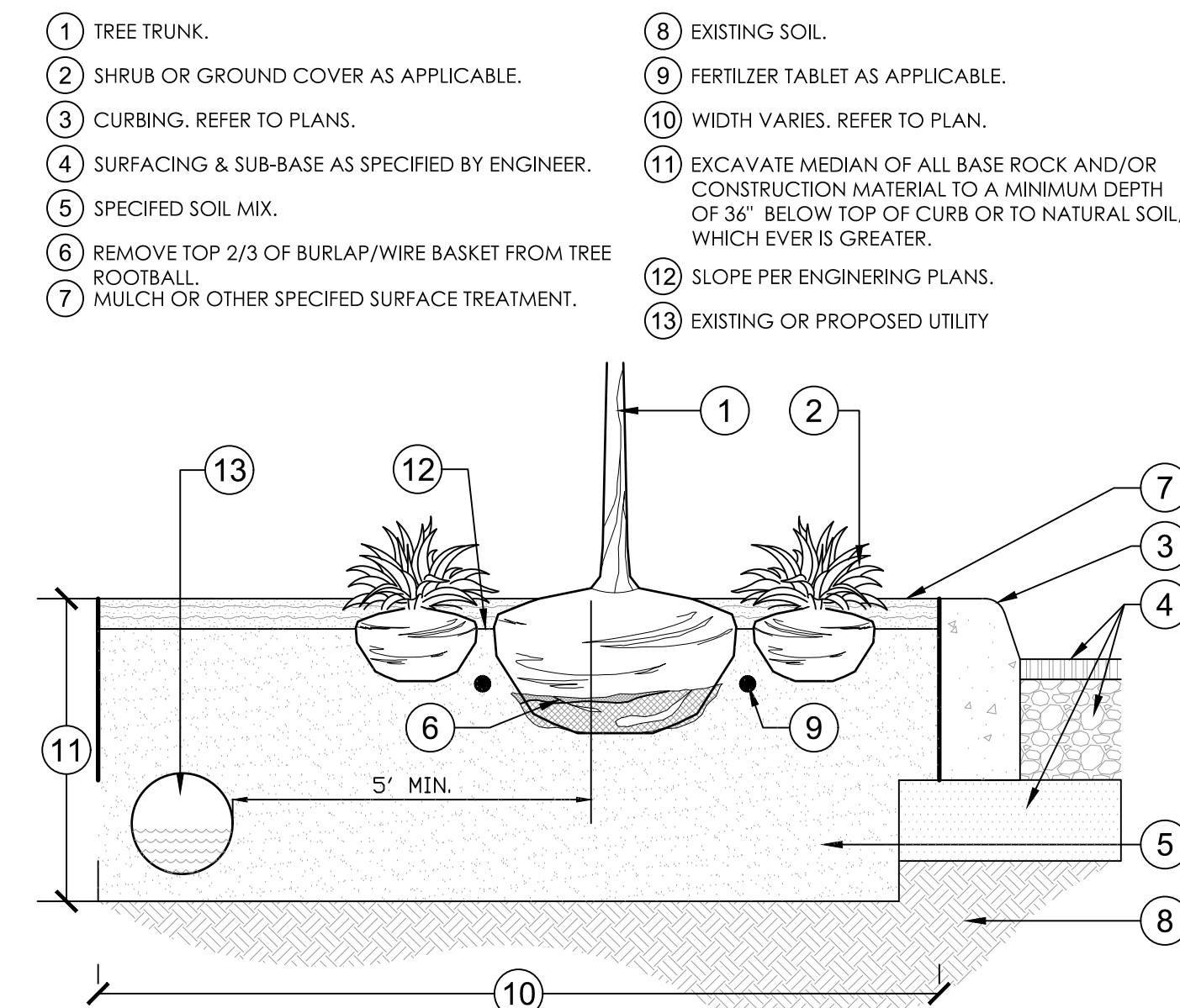
1 LARGE TREE PLANTING: 2" CALIPER AND GREATER
 1/4" = 1'-0"
 329343-17



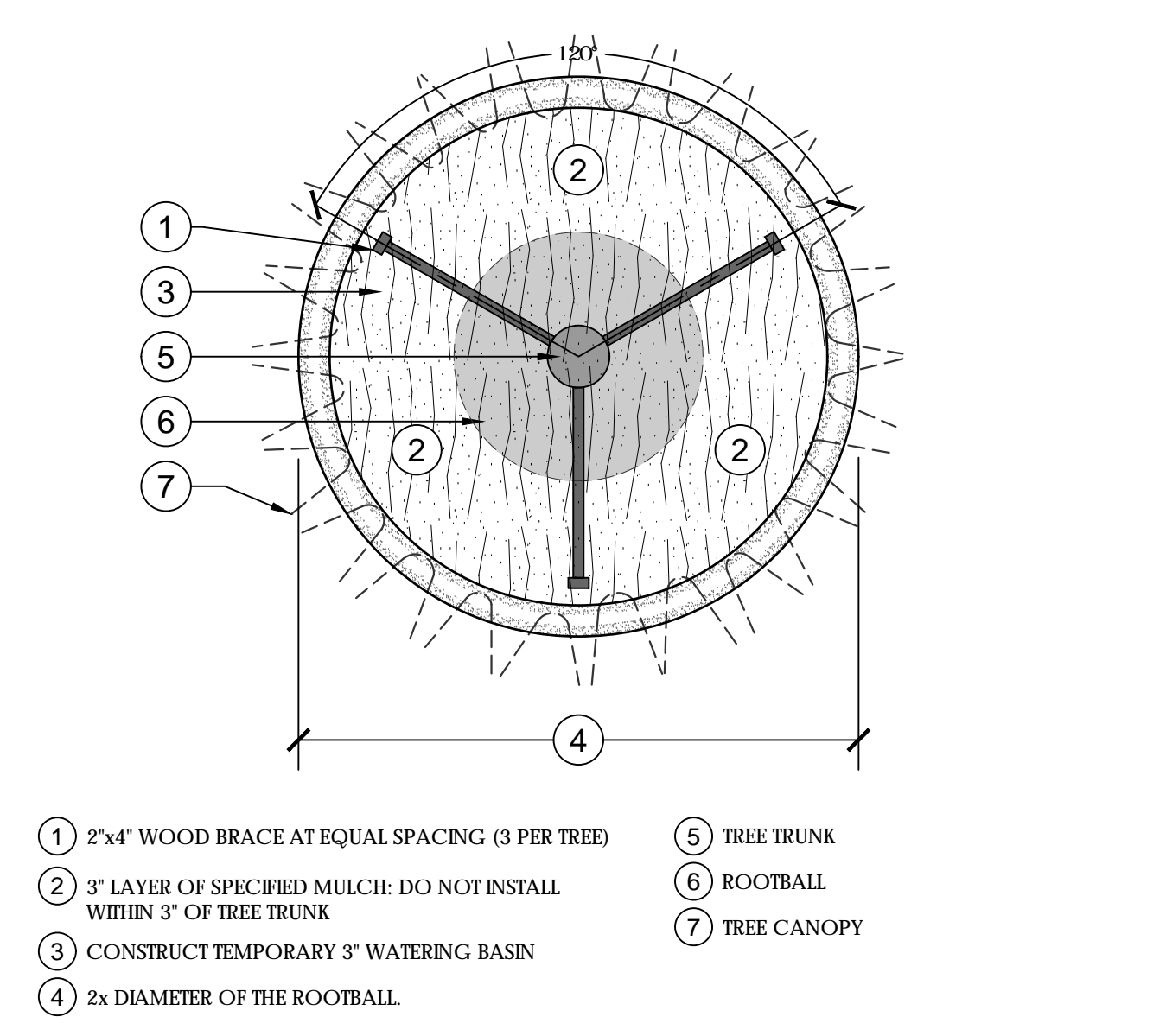
2 SABAL PALM PLANTING
 1/4" = 1'-0"
 329343-21



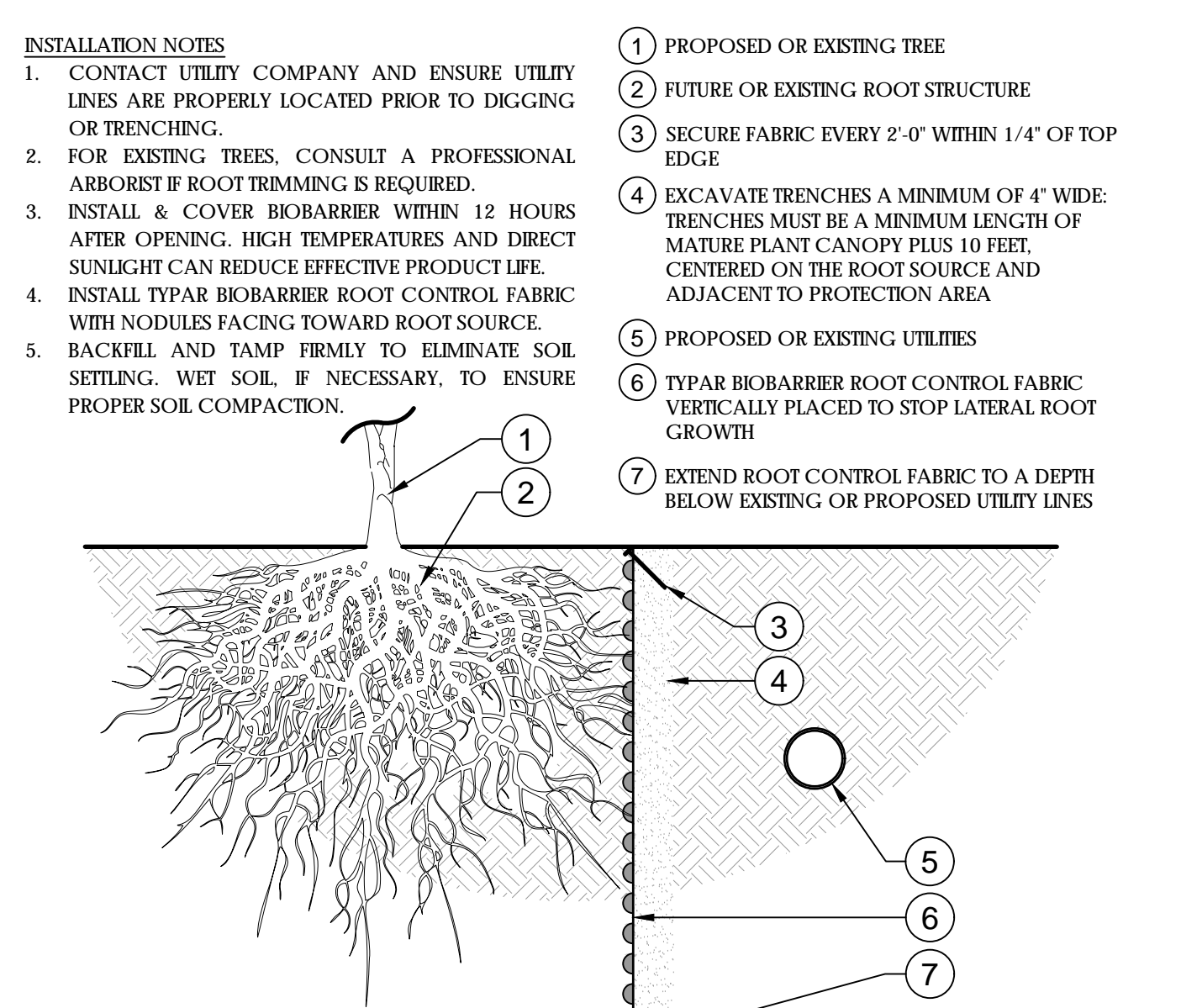
3 MULTI-TRUNK TREE PLANTING
 1/4" = 1'-0"
 329343-19



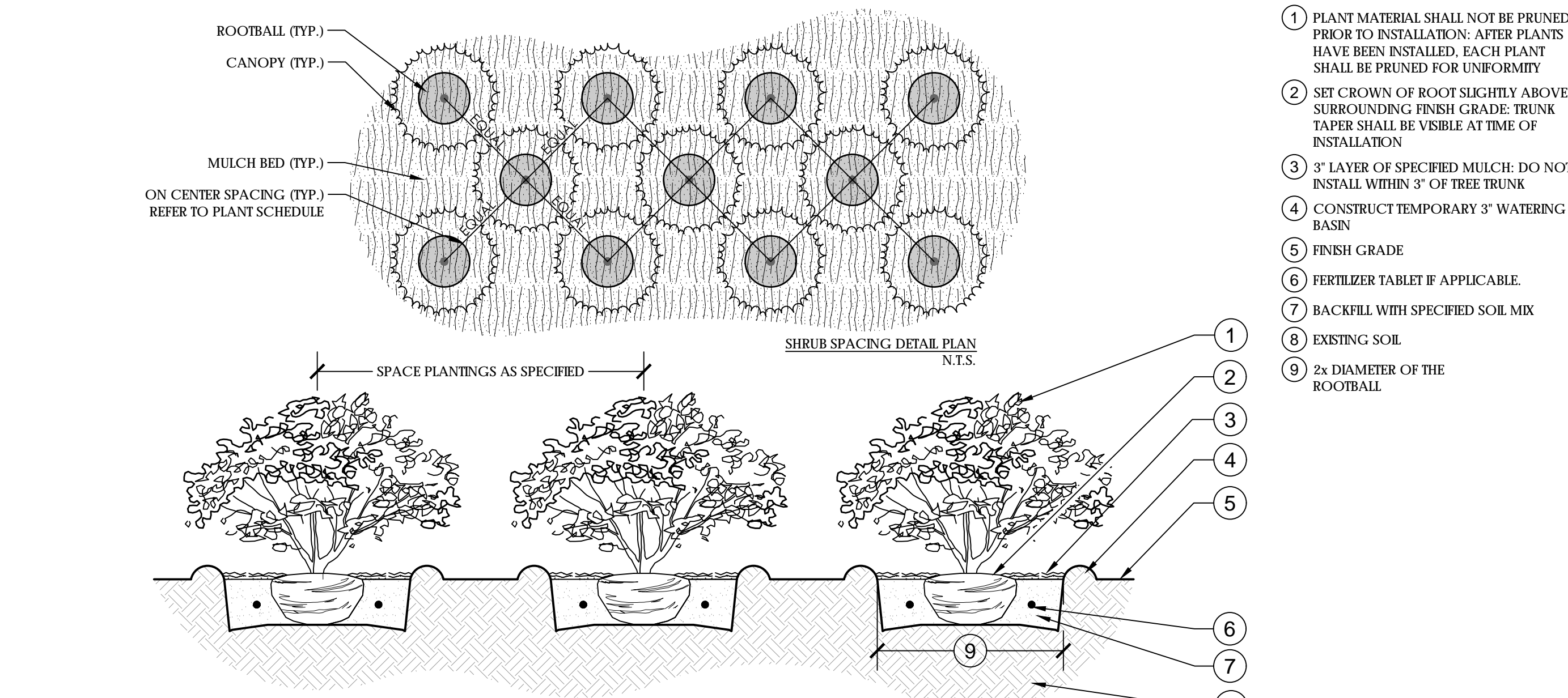
4 5' MINIMUM UTILITY TREE OFFSET
 3/4" = 1'-0"
 329343-26



5 LARGE TREE STAKING DETAIL
 3/8" = 1'-0"
 329343-22



6 TREE ROOT BARRIER - ADJACENT UTILITIES
 3/4" = 1'-0"
 32 9413.23-01



7 SHRUB/GROUND COVER PLANTING & SPACING
 1" = 1'-0"
 329333-08

LANDSCAPE SPECIFICATIONS

1. GENERAL

- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
 - 1.2. SOURCE OF BASE INFORMATION PROVIDED BY OWNER AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
 - 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
 - 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
 - 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
 - 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
 - 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
 - 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
 - 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
 - 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
- ## 2. PRE-CONSTRUCTION RESPONSIBILITY
- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
 - 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ON-SITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
 - 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
 - 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
 - 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
- ## 3. SITE DEMOLITION
- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - 3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - 3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
 - 3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - 3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.
 - 3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
 - 3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
- ## 4. TREE PRESERVATION
- 4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.

- 4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.
 - 4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.
 - 4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:
 - 4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
 1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 3. BACKFILL TRENCH WITH PLANTING SOIL.
 4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).
 - 4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
 - 4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
 - 4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
 - 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.
- ## 5. PLANTING SOIL
- 5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.
 - 5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:
 - 5.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT
 - 5.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK
 - 5.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK
- ## 6. LANDSCAPE PLANTING
- 6.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
 - 6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
 - 6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
 - 6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
 - 6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.
 - 6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES, MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
 - 6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
 - 6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.
 - 6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
 - 6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
 - 6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.
 - 6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.
 - 6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.
 - 6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
 - 6.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
 - 6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

- 6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
 - 6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
 - 6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
 - 6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
 - 6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
 - 6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
 - 6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.
 - 6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
 - 6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
 - 6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
 - 6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.
- ## 7. TURF GRASSES
- 7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
- ## 8. MULCH & FERTILIZER
- 8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLOM-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - 8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3" DIAMETER MULCH RING.
 - 8.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TRUNKS.
 - 8.4. FERTILIZER MIX AS FOLLOWS:
 - 8.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS
- ## 9. WATERING
- 9.1. ALL LANDSCAPED AREAS WITHIN THE COMMUNITY CENTER SITE WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
 - 9.2. ALL LANDSCAPE AREAS WITHIN THE OVERFLOW PARKING SITE SHALL BE HAND WATERED DURING ESTABLISHMENT PERIOD. IN ACCORDANCE WITH IFAS PUBLICATION #ENH85 "IRRIGATING LANDSCAPE PLANTS DURING ESTABLISHMENT" (<https://edis.ifas.edu/ep113>).
 - 9.3. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
- ## 10. PROJECT CLOSEOUT
- 10.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
 - 10.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 - 10.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
 - 10.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
 - 10.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
- ## 11. GUARANTEE
- 11.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.

- 11.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
- 11.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

CHEN • MOORE

& ASSOCIATES

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CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION
CRISTOBAL BETANCOURT
REGISTRATION NO. LA6666941
DATE: ----

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

**RIVIERA BEACH
HEIGHTS
COMMUNITY
CENTER**

RIVIERA BEACH, FL

PROJECT NUMBER
15.221.002

CLIENT PROJECT NUMBER

VERIFY SCALES
0 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
01/30/17

DESIGNED BY
JS

DRAWN BY
JS

CHECKED BY
EH

DRAWING TITLE

**LANDSCAPE
SPECIFICATIONS**

DRAWING NUMBER

L1.04
OF



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ARCHITECTURE
+ DESIGN, LLC
AA26001503

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CONSULTANT:



VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

NEW DEVELOPMENT
FOR:

**RIVIERA
BEACH
HEIGHTS
COMMUNITY
CENTER**

594 W 4TH ST.
RIVIERA BEACH,
FL, 33404

DATE: 03 / 02 / 17
NUMBER: A15-011
REVIEWED: MW
MANAGED: PG
DRAWN: BG

REVISION:

RENDERINGS

SITE PLAN NOTES:

1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY - SEE CIVIL & LANDSCAPE/LAND PLANNER DRAWINGS FOR DETAILED SITE INFORMATION.
2. SEE LANDSCAPE PLANS FOR LANDSCAPE AND HARDSCAPE INFORMATION.
3. COORDINATE WITH MEP AND CIVIL PLANS FOR SYSTEMS LOCATIONS AND DETAILS.
4. COORDINATE WITH STRUCTURAL PLANS FOR FOUNDATIONS AND ADDITIONAL INFORMATION.
5. SIZE OF TYPICAL OFF-STREET PARKING SPACES - SEE TYPICAL HANDICAPPED PARKING DETAIL: SEE CIVIL.
6. ALL SIDEWALKS, CURBS, AND ROADWAY DRAINAGE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN CONFORMANCE WITH THE LAND DEVELOPMENT REGULATIONS AS DETERMINED BY THE CITY ENGINEER.
7. SEE CIVIL DRAWINGS FOR CONTROL JOINT DETAILS FOR CONCRETE PAVING AND SIDEWALKS.



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FOR:

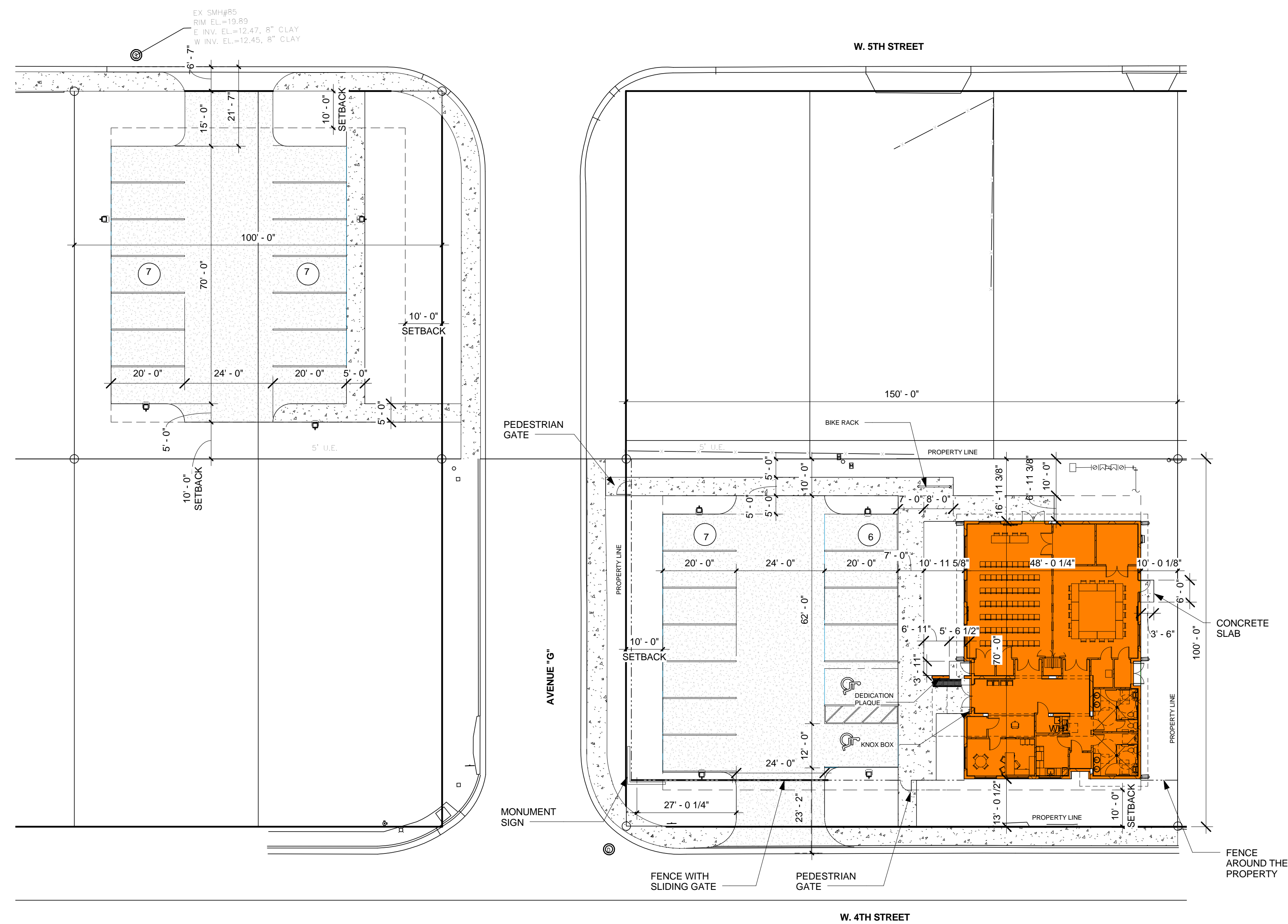
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594 W 4TH ST.
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FL, 33404

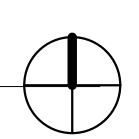
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MANAGED:	PG
DRAWN:	DA
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ARCHITECTURAL
SITE PLAN

AS-1.00



1 SITE PLAN
AS-1.00 1" = 20'-0"



FLOOR PLAN NOTES:

1. ASSEMBLY OCCUPANCIES OVER 50 PEOPLE SHALL POST OCCUPANCY LOAD SIGNAGE, LIFE SAFETY INSTRUCTIONS AND LIFE SAFETY DIAGRAMS.
2. FIRE ALARM SHALL COMPLY WITH NFPA 72.
3. KNOX BOX SHALL BE INSTALLED.
4. CONTRACTORS TO VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCEMENT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
5. PROVIDE SOLID WOOD BACKING FOR ALL WALLS TO RECEIVE COUNTERTOPS, CABINETS, DOOR STOPS, SINKS, TOILET ACCESSORIES, CHAIR RAILS, AND OTHER RELATED INSTALLATIONS. THE INSTALLATIONS SHALL BE INSPECTED BY THE ARCHITECT PRIOR TO COVERING WITH DRYWALL.
6. PROVIDE MOISTURE RESISTANCE GYPSUM BOARD IN RESTROOMS.
7. LEVEL 4 FINISH ON ALL GYPSUM BOARD PARTITIONS.



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NEW DEVELOPMENT
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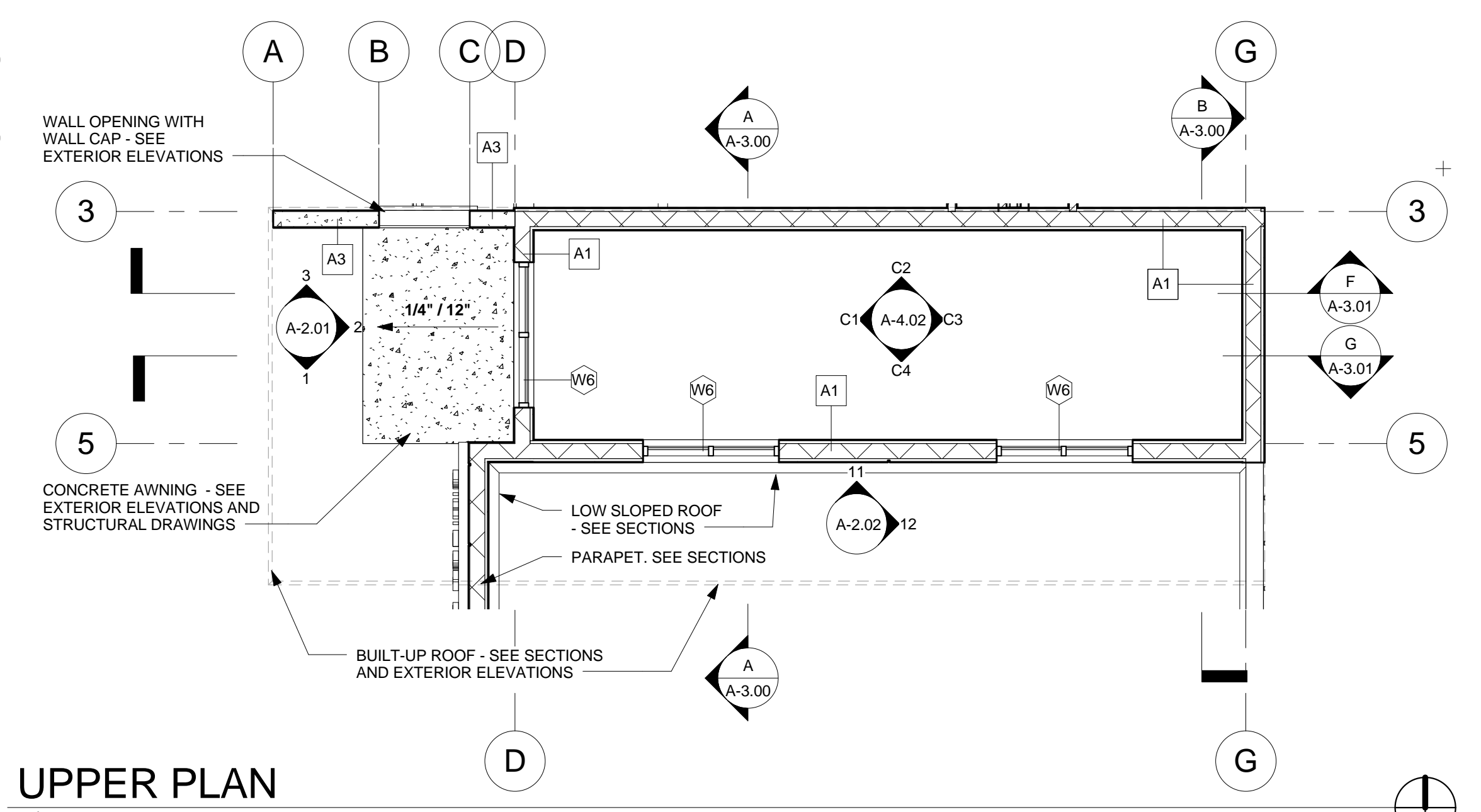
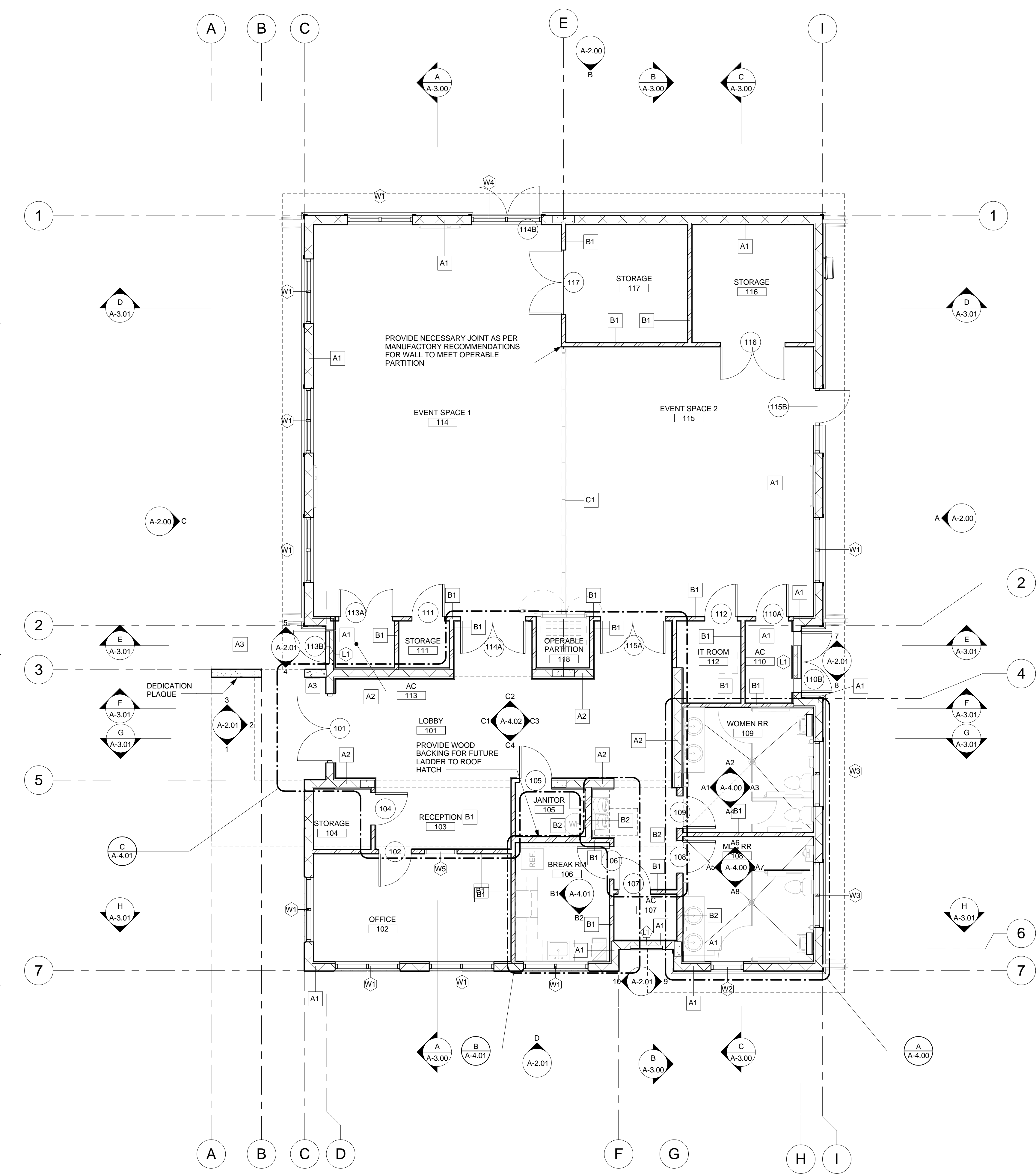
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DRAWN: DA
REVISION:

FLOOR PLAN

A-1.00

WALL LEGEND

A1	7-5/8" MASONRY WALL W/ 1-5/8" METAL FURRING (24" O.C.), W/ MINIMUM R8 INSULATION AND 5/8" GYPSUM BOARD ON INTERIOR AND WATERPROOFING AND STUCCO FINISH ON EXTERIOR
A2	7-5/8" MASONRY WALL W/ 1-1/2" METAL STUDS (24" O.C.), W/ MINIMUM R8 INSULATION AND 5/8" GYPSUM BOARD ON BOTH SIDES
A3	7-5/8" POUR CONCRETE SEE STRUCTURAL W/ PAINTED STUCCO FINISH ON BOTH SIDES
B1	4-7/8" INTERIOR PARTITION W/ 3-5/8" 25GA. METAL STUDS @ 16" O.C W/ INSULATION R13 AND 5/8" GYPSUM BOARD ON BOTH SIDES - PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE
B2	7-1/4" INTERIOR PARTITION W/ 6" 25GA. METAL STUDS @ 16" O.C W/ INSULATION R19 AND 5/8" GYPSUM BOARD ON BOTH SIDES - PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE
C1	OPERABLE PARTITION HUFSCORE SERIES: 642, 54 STC WITH TOP AND BOTTOM MECHANICAL SEALS. ONE (1) 25'-0" W X 14'-10" H. WITH ONE TYPE II POCKET DOOR OR APPROVED EQUAL



FLOOR PLAN
3/16" = 1'-0"

UPPER PLAN
3/16" = 1'-0"

W:\Projects\03-17\03-17-15\PROJECTS\A15-011 - Riviera Community Center\Drawings\A15-011 - Riviera Community Center\A15-011 - Riviera Community Center.dwg



**CITY OF RIVIERA BEACH STAFF REPORT, SP-15-15
RIVIERA BEACH HEIGHTS COMMUNITY CENTER
PLANNING AND ZONING BOARD – JANUARY 14, 2016**

A SITE PLAN APPLICATION (SP-15-15) FOR THE CITY INITIATED RIVIERA BEACH HEIGHTS COMMUNITY CENTER, A MULTI-PURPOSE COMMUNITY ACTIVITY BUILDING, APPROXIMATELY 3,500 SQUARE FEET IN AREA, LOCATED ON VACANT LAND AT THE NORTHEAST CORNER OF WEST 4TH STREET AND AVENUE 'G'.

A. Applicants: City of Riviera Beach.

B. Request: The City desires to develop a 3,500 square foot multi-purpose community center on parcels which are currently vacant (see attached plans).

C. Location: The community center is proposed at the northeast corner of West 4th Street and Avenue 'G'. Overflow parking is proposed at the southwest corner of West 5th Street and Avenue 'G' (see attached location map).

D. Property Description and Uses: The subject property description / uses are as follows:

Parcel Control Numbers: 56-43-42-33-09-000-0520; 56-43-42-33-09-000-0510 & 56-43-42-33-08-000-0310

Parcel Size: +/- 0.22; 0.23; 0.11 Acres (0.56 Total Acres)

Existing Use: Vacant.

Zoning: RS-8 Single Family Dwelling District
(Proposed Amendment to Community Facility)

Future Land Use: Single Family Residential
(Proposed Amendment to Community Facilities)

E. Adjacent Property Description and Uses:

North: Single Family Residences / Vacant Property, RS-8 Zoning Designation.

South: Single Family Residences, RS-8 Zoning Designation.

East: Single Family Residences, RS-8 Zoning Designation.

West: Single Family Residences, RS-8 Zoning Designation.

F. Background:

Residents within the Riviera Beach Heights Community desire a community facility for various activities and events. Construction of a community center would satisfy this request and also function as a neighborhood anchor fostering a greater sense of place. City Council members have supported this proposal by way of funding allocations and initiating site plan development.

Historically FDOT acquired property in the Riviera Beach Heights Neighborhood in association with the SR 710 (Dr. MLK Jr. Hwy.) roadway improvement project. FDOT did not utilize all properties acquired and is willing to transfer this land to the City of Riviera Beach so long as it is utilized for a public purpose by the City in the future. The three aforementioned parcels (PCN's listed above) are all currently owned by FDOT and will be transferred to the City (see attached FDOT Parcel Map).

Please note that a Community Meeting was held on December 9, 2015 at 6:30 PM within the City's Public Services Complex; meeting minutes have been attached.

G. Staff Analysis:

Proposed Use: A +/- 3,500 square foot multi-purpose community center.

Zoning Regulations: The zoning designation and map shall be amended to CF – Community Facility in order to accommodate this use.

Comprehensive Plan: The future land use designation and map shall be amended to CF – Community Facilities in order to accommodate this use.

Levels of Service: Customary services such as water, sewer, roads and garbage collection are currently available to the site.

Landscaping: A landscape plan was provided and new landscaping will be installed according to City landscape code requirements.

Parking/Traffic: The City Code requires 1 space per every 200 sq. ft. of building area ($3500 / 200 = 17.5$ parking spaces) and 27 spaces have been provided (including 2 accessible spaces). On average, this proposal is estimated to generate a minimal number of trips per day and is not anticipated to have any negative traffic impact within the community.

H. Recommendation: Staff recommends approval of the City of Riviera Beach site plan application with the following conditions:

1. A two-year landscape performance bond for 100% of the value of landscaping and irrigation is required prior to issuance of a certificate of occupancy.
2. Construction must be initiated within 18 months of the effective date of the adopting Resolution in accordance with Section 31-60(b), of the City Code of Ordinances. Demolition, site preparation or land clearing shall not be considered construction. Building permit application and associated plans and documents shall be submitted in its entirety and shall not be accepted by City staff in a partial or incomplete manner.
3. All future advertising must state that the development is located in the City of Riviera Beach. Fees and penalties in accordance with City Code Sec. 31-554 will be levied against the property owner and/or business for violation of this condition.
4. This development must receive final Certificate of Occupancy from the City for all buildings and units approved within five years of the approval of the adopting resolution or the adopting resolution shall be considered null and void, requiring the applicant to resubmit application for site plan approval and re-initiate the site plan approval process.

continued on next page

5. Once approved, the City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved submittal.

RESOLUTION NO. 14-16

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, APPROVING A SITE PLAN APPLICATION FOR THE CITY INITIATED RIVIERA BEACH HEIGHTS COMMUNITY CENTER, A MULTI-PURPOSE COMMUNITY ACTIVITY BUILDING, APPROXIMATELY 3,500 SQUARE FEET IN AREA, LOCATED ON VACANT LAND AT THE NORTHEAST CORNER OF WEST 4TH STREET AND AVENUE 'G'; PROVIDING FOR CONDITIONS OF APPROVAL; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the residents of the Riviera Beach Heights neighborhood have requested a community facility in order to provide a space for various events and activities; and

WHEREAS, construction of a neighborhood community center would satisfy the residents' requests and also function as a neighborhood anchor, fostering a greater sense of place; and

WHEREAS, the City Council has supported this proposal and encouraged project approval and implementation; and

WHEREAS, the Florida Department of Transportation has committed to donating land for construction of the community center; and

WHEREAS, a public informational meeting was held on December 9, 2015 to discuss this project and there was overwhelming support of the community center proposal; and

WHEREAS, this proposal has been reviewed interdepartmentally by City staff and there are no outstanding staff questions or comments; and

WHEREAS, on January 14, 2016, the Planning and Zoning Board reviewed this project proposal and unanimously recommend approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RIVIERA BEACH, PALM BEACH COUNTY, FLORIDA, AS FOLLOWS:

SECTION 1. The City Council hereby approves the City initiated application for site plan approval (SP-15-15), for a +/- 3500 square foot community center, located on three parcels of land, known by parcel control numbers 56-43-42-33-09-000-0520; 56-43-42-33-09-000-0510 & 56-43-42-33-08-000-0310, on +/- 0.56 acres, within the Riviera Beach Heights Neighborhood, situated on the northeast corner of West 4th Street and Avenue "G", with overflow parking at the southwest corner of West 5th Street and Avenue "G", with the following conditions:

1. This development must receive final Certificate of Occupancy from the City within five years of the approval of this resolution (by February 3, 2021) or the resolution shall be considered null and void, requiring the applicant to resubmit application for site plan approval and re-initiate the site plan approval process.
2. Once approved, the City Council authorizes City staff to approve future amendments to this site plan administratively so long as the site plan does not deviate greater than 5% from the originally approved submittal

SECTION 2. The associated site plan and landscape plan are attached hereto and shall be archived as part of this resolution as Exhibit "A" and Exhibit "B".

SECTION 3. This Resolution shall take effect immediately upon passage and approval by City Council.


PASSED and APPROVED this 3RD day of FEBRUARY, 2016.

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APPROVED:

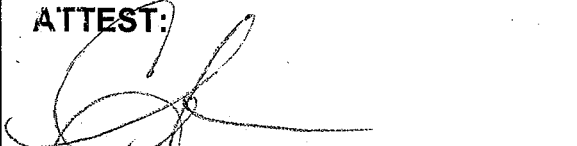


THOMAS A. MASTERS
MAYOR




DAWN S. PARDO
CHAIRPERSON


ATTEST:



CLAUDENE L. ANTHONY
CERTIFIED MUNICIPAL CLERK
CITY CLERK



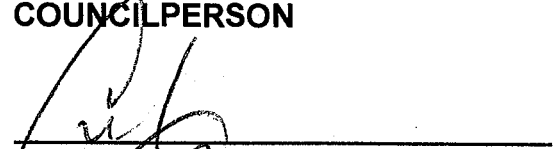
TERENCE D. DAVIS
CHAIR PRO TEM



BRUCE A. GUYTON
COUNCILPERSON



KASHAMBA L. MILLER-ANDERSON
COUNCILPERSON



CEDRICK A. THOMAS
COUNCILPERSON

MOTIONED BY: C. THOMAS

SECONDED BY: B. GUYTON

B. GUYTON AYE

K. MILLER-ANDERSON NAY

C. THOMAS AYE

D. PARDO AYE

T. DAVIS AYE

REVIEWED AS TO LEGAL SUFFICIENCY



PAMALA H. RYAN, B.C.S.,
CITY ATTORNEY

DATE: 2/2/16

City Council EXHIBIT "A"



CHEN MOORE & ASSOCIATES
 500 Australian Avenue South
 Suite 530
 West Palm Beach, FL 33401
 561.746.6900
 www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

REGISTRATION
 CRISTOBAL BETANCOURT
 REGISTRATION NO. LA6666941
 DATE: 10/08/15

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

SOUTH SIDE COMMUNITY CENTER

RIVIERA BEACH, FL

PROJECT NUMBER
 15-221.002

CLIENT PROJECT NUMBER

VERIFY SCALES
 0 1"
 IF NOT ONE INCH ON THIS SHEET,
 ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
 10/08/15

DESIGNED BY
 JS

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 JS

CHECKED BY
 EH

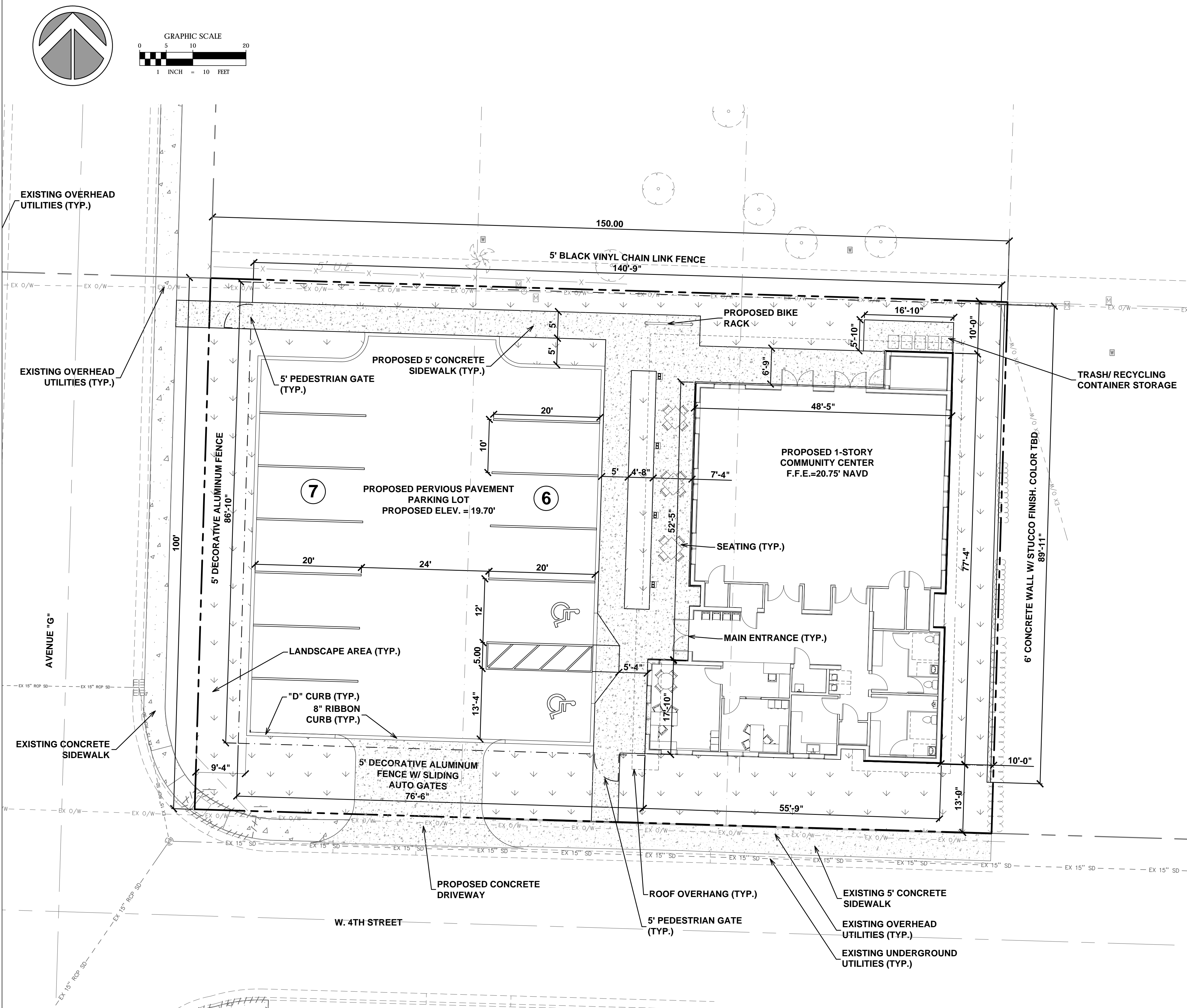
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COMMUNITY CENTER SITE PLAN

DRAWING NUMBER
C1.01
 OF

SITE DATA TABLE: COMMUNITY CENTER

CURRENT ZONING:	RS-8 SINGLE FAMILY DWELLING	
PROPOSED USE:	COMMUNITY CENTER	
	REQUIRED	PROVIDED
MINIMUM PROPERTY SIZE	5,000 SF	15,000 SF
MINIMUM BUILDING SETBACKS:		
	FRONT	13'
	SIDE, INTERIOR	10'
	SIDE, STREET	9'-4"
	REAR	10'-0"
MAXIMUM BUILDING AREA (% OF PARCEL)	35% MAX.	26%
MAXIMUM BUILDING HEIGHT	35' MAX.	20'-6"
TOTAL IMPERVIOUS AREA		10,718 SF (60%)
TOTAL PERVIOUS AREA		4,282 SF (40%)
	PARKING RATIO REQUIREMENT (SF)	PROVIDED PARKING
PARKING REQUIREMENTS FOR COMMUNITY CENTER		
	EVENT SPACE (1,792 SF)	1 SPACE PER 200 SF = 9
	OFFICE SPACE (469 SF)	1 SPACE PER 300 SF = 2
	COMMON AREA (1,208 SF)	1 SPACE PER 200 SF = 6
TOTAL PARKING INCLUDING OVERFLOW PARKING AREA		
	STANDARD PARKING SPACES (10'X20')	25
	ACCESSIBLE SPACES (12'X20')	2



PRELIMINARY SITE PLAN SUBMITTAL. NOT FOR CONSTRUCTION

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City Council EXHIBIT "A"



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PROJECT INFORMATION

SOUTH SIDE COMMUNITY CENTER

RIVIERA BEACH, FL

PROJECT NUMBER
 15-221.002

CLIENT PROJECT NUMBER

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REVISIONS

DATE OF ISSUE
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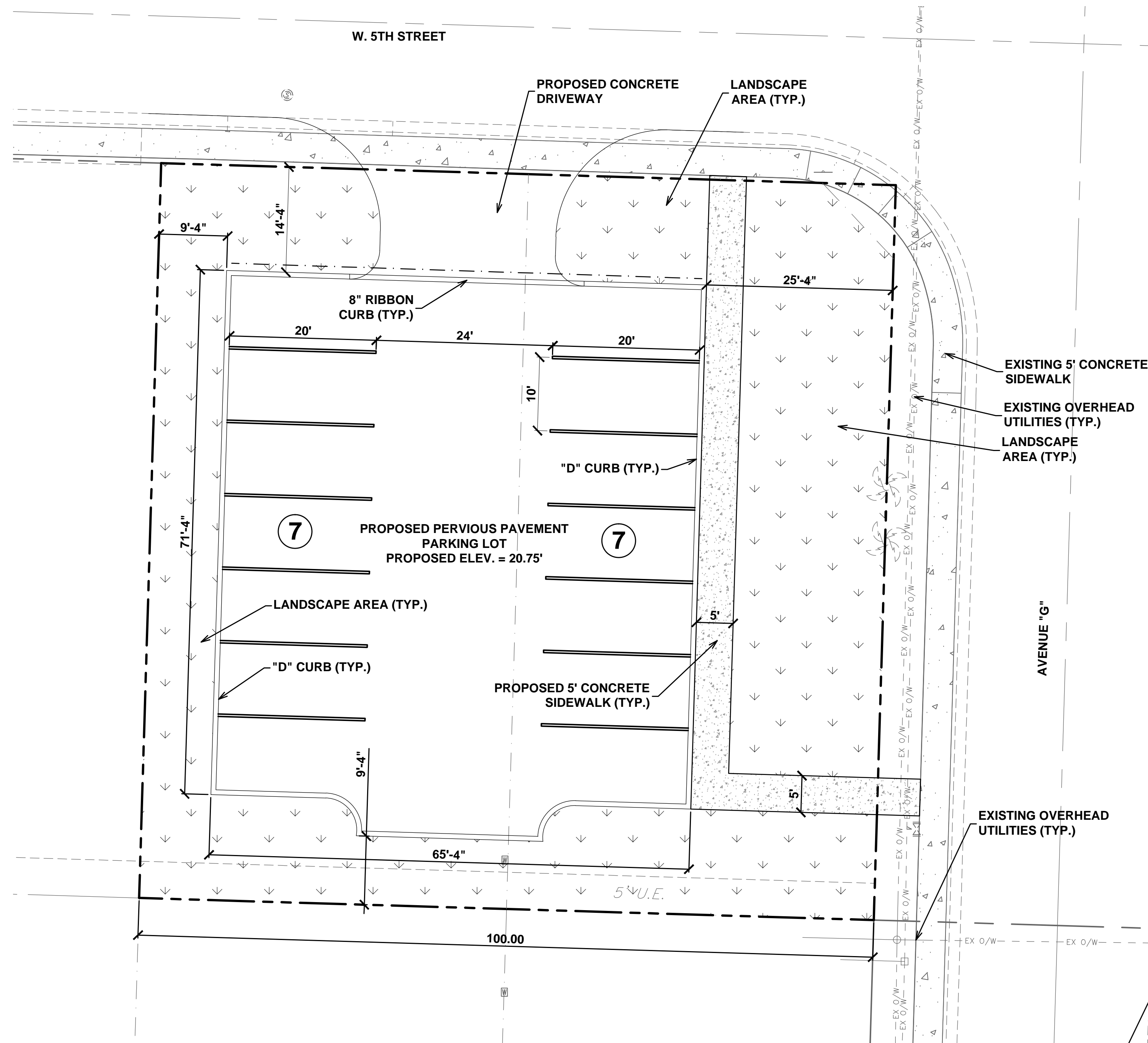
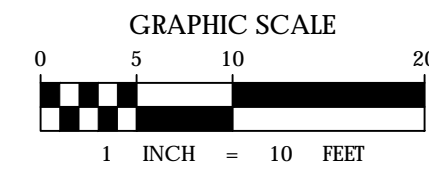
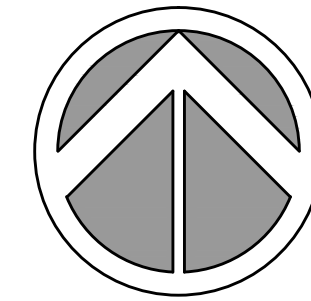
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OVERFLOW PARKING LOT SITE PLAN

DRAWING NUMBER
C1.02
 OF



SITE DATA TABLE: OVERFLOW PARKING LOT

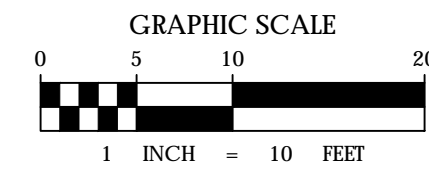
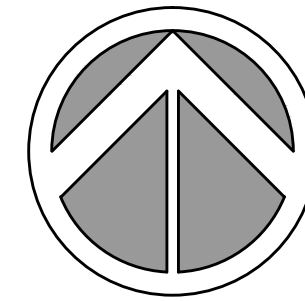
CURRENT ZONING:	RS-8 SINGLE FAMILY DWELLING	
PROPOSED USE:	COMMUNITY CENTER OVERFLOW PARKING LOT	
	REQUIRED	PROVIDED
MINIMUM PROPERTY SIZE	5,000 SF	10,000 SF
MINIMUM BUILDING SETBACKS:		
FRONT	20'	13'
SIDE, INTERIOR	7'	9'-4"
SIDE, STREET	12'-6"	25'-4"
REAR	15'	9'-4"
TOTAL IMPERVIOUS AREA	5,710 SF (25%)	
TOTAL PERVIOUS AREA	4,290 (75%)	

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City Council EXHIBIT "B"

SITE LANDSCAPE DATA TABLE: COMMUNITY CENTER

LAND USE CATEGORY: RS-8 SINGLE FAMILY DWELLING	#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED	TREE VALADATION/LOCATION
SEC. 31-609 DEVELOPMENT LANDSCAPE REQUIREMENTS							
1 TREE PER 1,500 SF	15,000	10	21	X	X	21	(5) SILVER BUTTONWOOD, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES. (2) LIVE OAKS, (14) CABBAGE PALMS, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES
MIN. 20% OF DEVELOPED SITE SHALL BE LANDSCAPED		3,000	4,282				73% SHRUBS/ GROUNDCOVERS AND 27% BAHIA TURF
SEC. 31-610 PARKING AREAS FOR NONRESIDENTIAL DEVELOPMENTS							
AVENUE G: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	100	5	5	X	X	5	PROPOSED TREES: (2) SILVER BUTTONWOOD, (2) LIVE OAK, (1) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF.
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	
WEST 4TH STREET: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	80	4	8	X	X	8	PROPOSED TREES: (3) SILVER BUTTONWOOD, (5) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	



PLANT SCHEDULE L1.01

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	CS2	5	Silver Buttonwood	Conocarpus erectus 'Sericeus'	F.G.	12' OAH, 2" DBH MIN.	Yes	
	QV	2	Park Side Live Oak	Quercus virginiana 'Park Side' TM	F.G.	14' HT, 5" SPRD, 4" DBH	Yes	
	SP	14	Cabbage Palmetto	Sabal palmetto	F.G.	10', 14', 18' CT, Stag. Ht.	Yes	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CI	147	Coco Plum	Chrysobalanus icaco	3 gal	24" HT, 24" SPRD	Yes	30" o.c.
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	BF	239	Stalked Bulbine	Bulbine frutescens	1 gal.	MIN 12" FULL	No	18" o.c.
	MC	105	Pink Muhly	Muhlenbergia capillaris	3 gal.	MIN. 24" HT.	Yes	30" o.c.
	ZP	148	Coontie	Zamia pumila	3 gal.	14" HT, 14" SPRD	Yes	30" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	PN	1,150 sf	Bahia Grass	Paspalum notatum	Solid Sod	FULL	No	

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

SOUTH SIDE COMMUNITY CENTER

RIVIERA BEACH, FL

PROJECT NUMBER
15-221.002

CLIENT PROJECT NUMBER

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JS

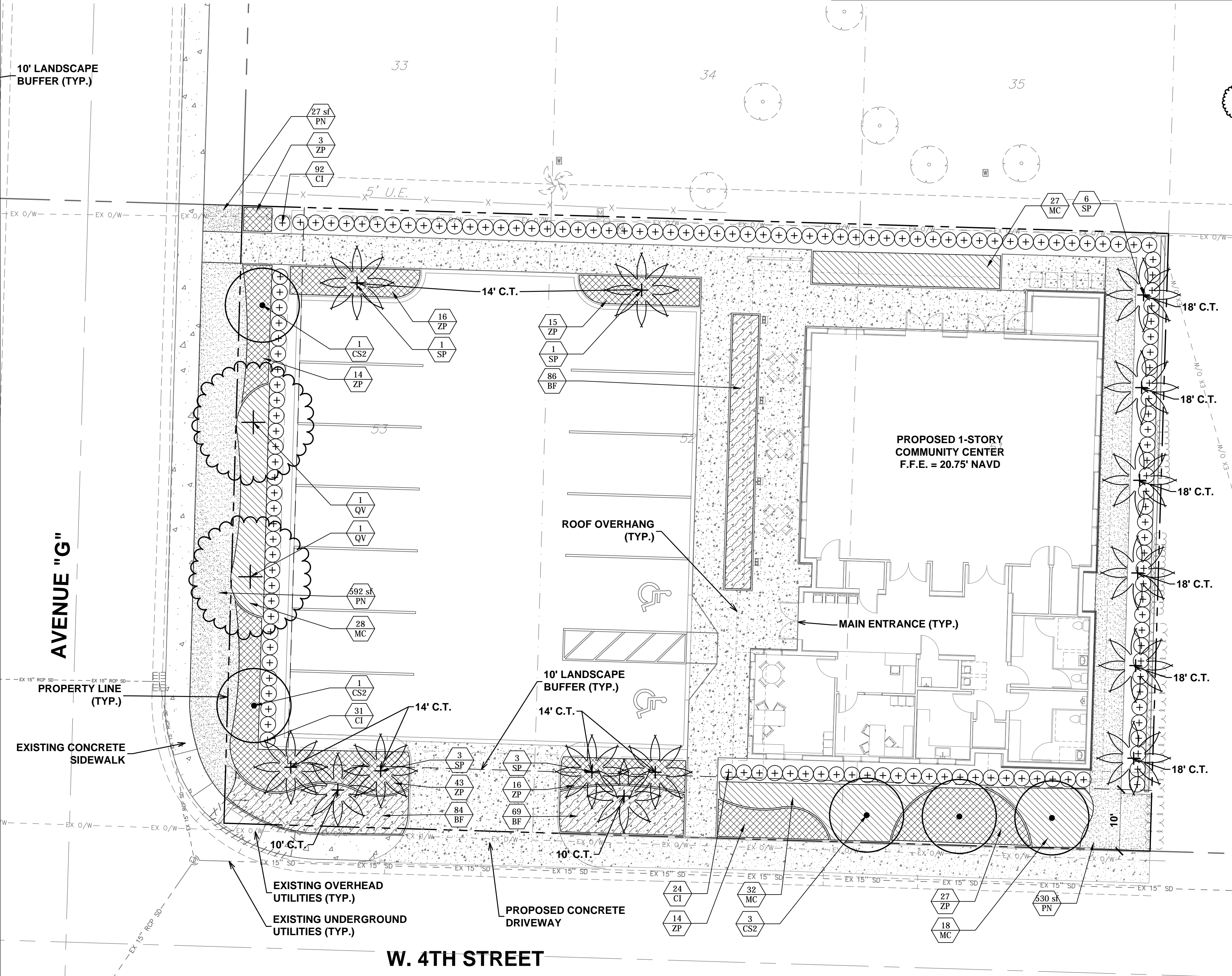
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COMMUNITY CENTER LANDSCAPE PLAN

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L1.01
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City Council EXHIBIT "B"



& ASSOCIATES
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 www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

REGISTRATION
 CRISTOBAL BETANCOURT
 REGISTRATION NO. LA6666941
 DATE: 10/08/15

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

**SOUTH SIDE
 COMMUNITY
 CENTER**

RIVIERA BEACH, FL

PROJECT NUMBER
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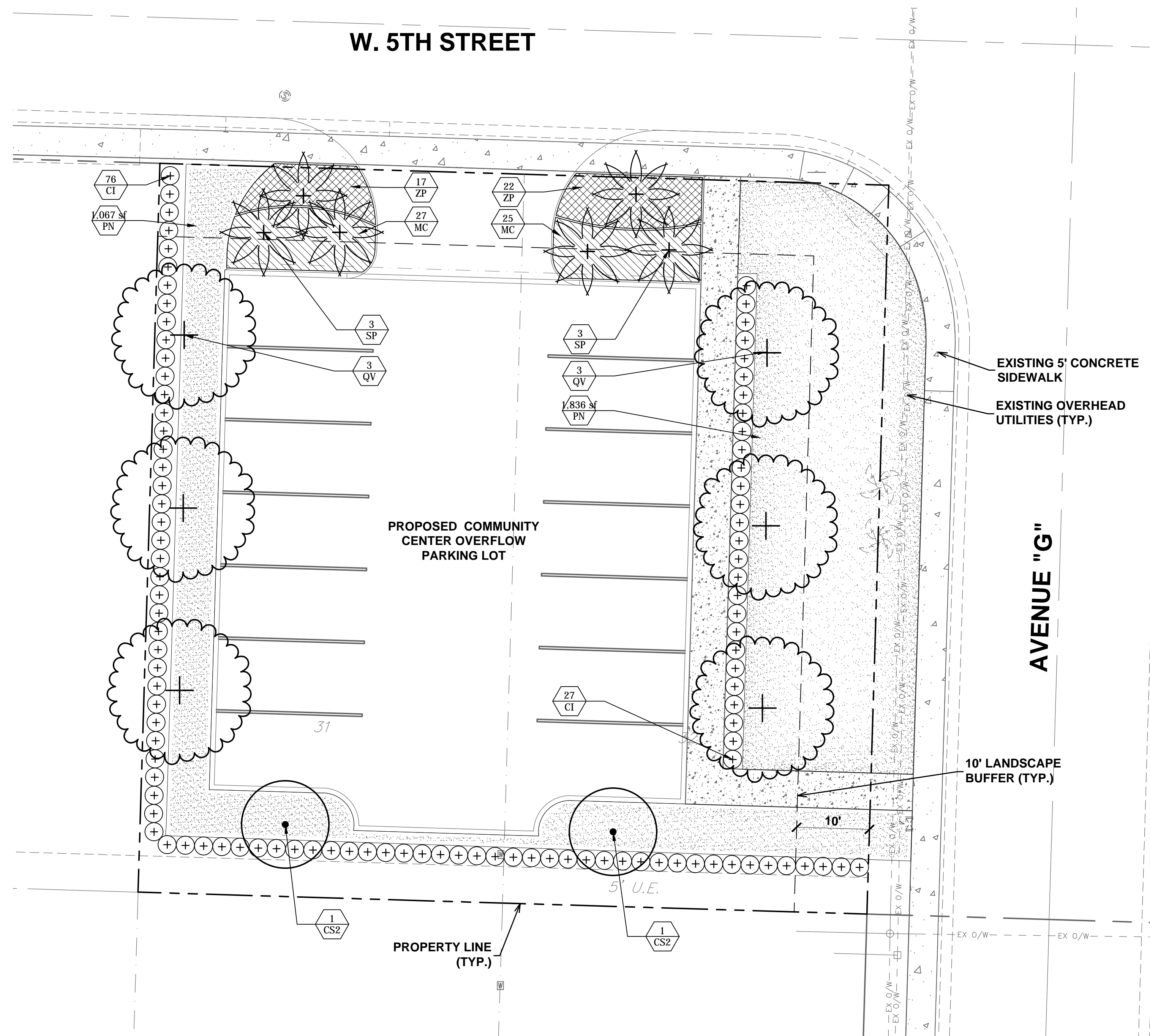
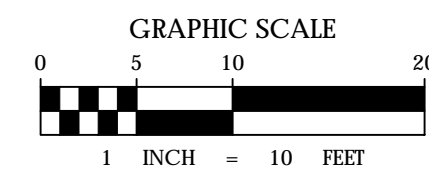
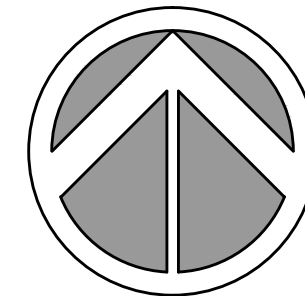
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**OVERFLOW
 PARKING
 LANDSCAPE
 PLAN**

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L1.02
 OF

SITE LANDSCAPE DATA TABLE: OVERFLOW PARKING LOT

LAND USE CATEGORY: RS-8 SINGLE FAMILY DWELLING	#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED	TREE VALADATION/LOCATION
CODE APPLICATION							
SEC. 31-609 DEVELOPMENT LANDSCAPE REQUIREMENTS							
1 TREE PER 1,500 SF	10,000	7	14	X	X	14	(2) SILVER BUTTONWOOD, SPECIES SELECTED DUE TO PROXIMITY OF OVERHEAD UTILITY LINES. (6) LIVE OAKS, (6) CABBAGE PALMS,
MIN. 20% OF DEVELOPED SITE SHALL BE LANDSCAPED		2,000	4,290				28% SHRUBS/ GROUNDCOVERS AND 72% BAHIA TURF
SEC. 31-610 PARKING AREAS FOR NONRESIDENTIAL DEVELOPMENTS							
AVENUE G: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	75	4	4	X	X	4	PROPOSED TREES: (1) SILVER BUTTONWOOD, (3) LIVE OAK. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	
WEST 5TH STREET: MIN. 10' BUFFER W/ 1 TREE PER 20 LF	65	4	7	X	X	7	PROPOSED TREES: (1) LIVE OAK, (6) CABBAGE PALM. BUFFER TREES ARE COUNTED TOWARDS THE REQUIREMENTS OF 1 TREE PER 1,500 SF
CONTINUOUS HEDGE		CONTINUOUS HEDGE	CONTINUOUS HEDGE	X	X	CONTINUOUS HEDGE	



PLANT SCHEDULE L1.02

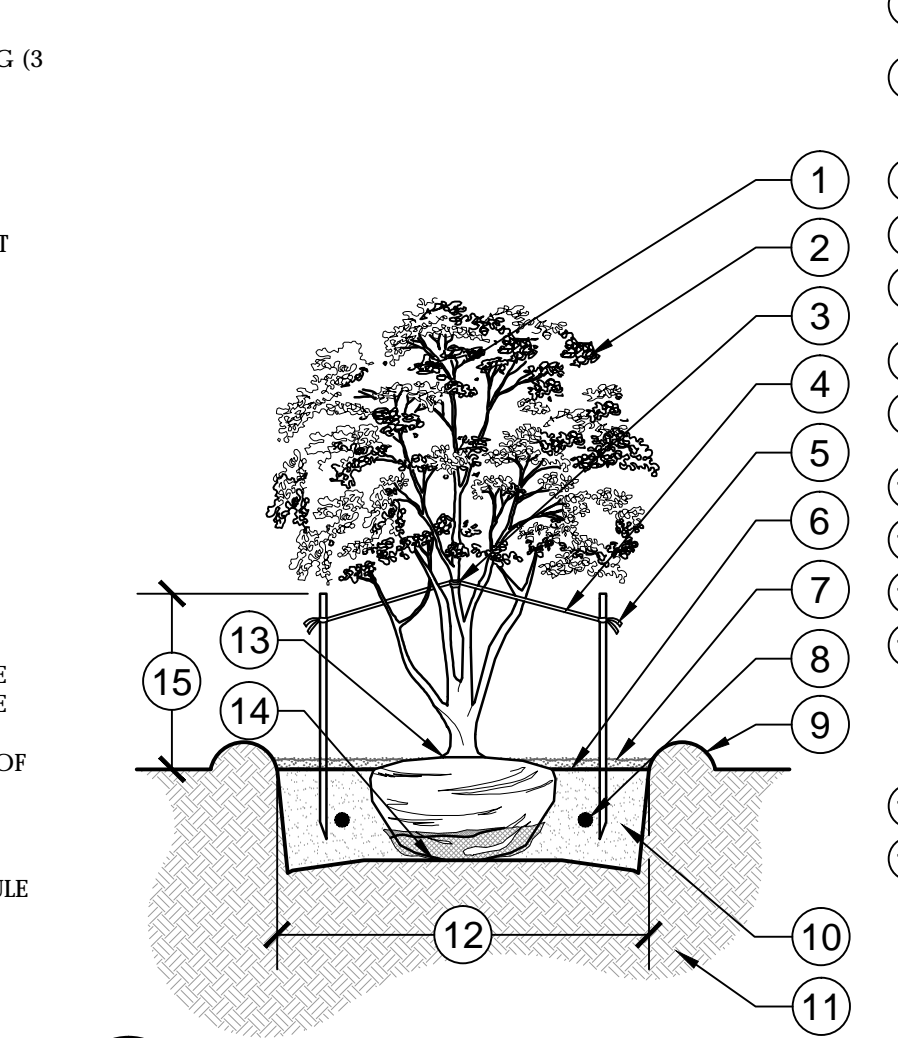
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	CS2	2	Silver Buttonwood	Conocarpus erectus 'Seniceus'	F.G.	12' OAH, 2" DBH MIN.	Yes	
	QV	6	Park Side Live Oak	Quercus virginiana 'Park Side' TM	F.G.	14' HT, 5' SPRD, 4" DBH	Yes	
	SP	6	Cabbage Palmetto	Sabal palmetto	F.G.	10', 14', 18' CT, Stag. Ht.	Yes	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	CI	103	Coco Plum	Chrysobalanus icaco	3 gal	24" HT, 24" SPRD	Yes	30" o.c.
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING
	MC	52	Pink Muhly	Muhlenbergia capillaris	3 gal.	MIN. 24" HT.	Yes	30" o.c.
	ZP	39	Coontie	Zamia pumila	3 gal.	14" HT, 14" SPRD	Yes	30" o.c.
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	
	PN	1,836 sf	Bahia Grass	Paspalum notatum	Sold Sod	FULL	No	

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PRELIMINARY SITE PLAN SUBMITTAL. NOT FOR CONSTRUCTION

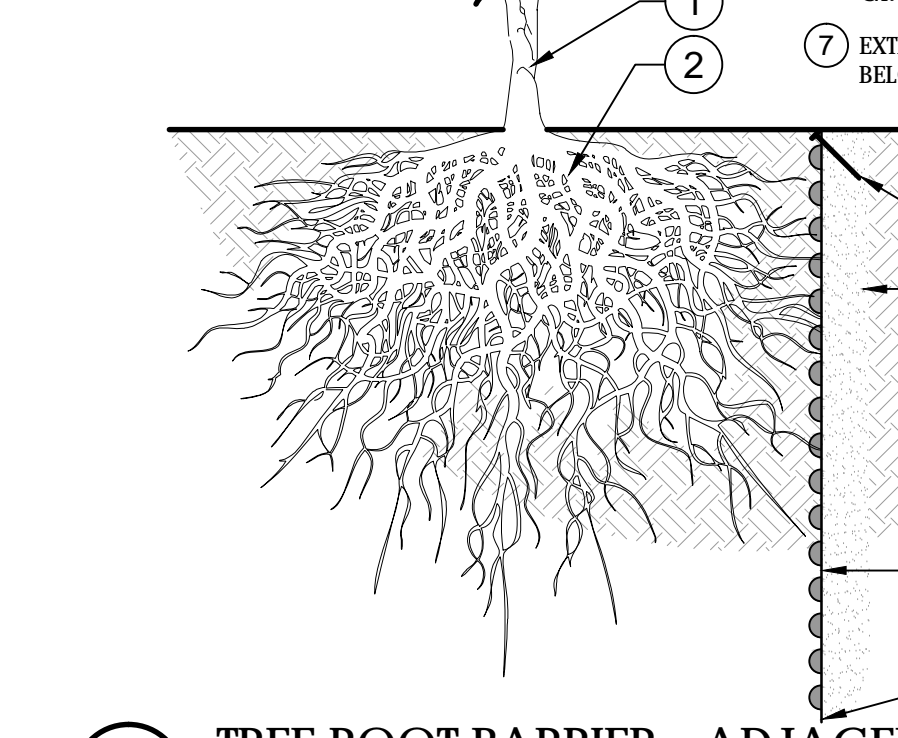
City Council EXHIBIT "B"

CALIPER MEASUREMENTS NOTES:
 1. CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 2. CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.
 REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



3 MULTI-TRUNK TREE PLANTING
 1/4" = 1'-0" 329343-19

INSTALLATION NOTES:
 1. CONTACT UTILITY COMPANY AND ENSURE UTILITY LINES ARE PROPERLY LOCATED PRIOR TO DIGGING OR TRENCHING.
 2. FOR EXISTING TREES, CONSULT A PROFESSIONAL ARBORIST IF ROOT TRIMMING IS REQUIRED.
 3. INSTALL & COVER BIOBARRIER WITHIN 12 HOURS AFTER OPENING. HIGH TEMPERATURES AND DIRECT SUNLIGHT CAN REDUCE EFFECTIVE PRODUCT LIFE.
 4. INSTALL TYPAR BIOBARRIER ROOT CONTROL FABRIC WITH NODULES FACING TOWARD ROOT SOURCE.
 5. BACKFILL AND TAMP FIRMLY TO ELIMINATE SOIL SETTLING. WET SOIL, IF NECESSARY, TO ENSURE PROPER SOIL COMPACTION.
 6. TYPAR BIOBARRIER ROOT CONTROL FABRIC VERTICALLY PLACED TO STOP LATERAL ROOT GROWTH.
 7. EXTEND ROOT CONTROL FABRIC TO A DEPTH BELOW EXISTING OR PROPOSED UTILITY LINES.



6 TREE ROOT BARRIER - ADJACENT UTILITIES
 3/4" = 1'-0" 32 9413.23-01

1. PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY.
 2. SET CROWN OF ROOT SLIGHTLY ABOVE SURROUNDING FINISH GRADE. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION.
 3. 3' LAYER OF SPECIFIED MULCH. DO NOT INSTALL WITHIN 3" OF TREE TRUNK.
 4. CONSTRUCT TEMPORARY 3" WATERING BASIN.
 5. FINISH GRADE.
 6. FERTILIZER TABLET IF APPLICABLE.
 7. BACKFILL WITH SPECIFIED SOIL MIX.
 8. EXISTING SOIL.
 9. 2x DIAMETER OF THE ROOTBALL.

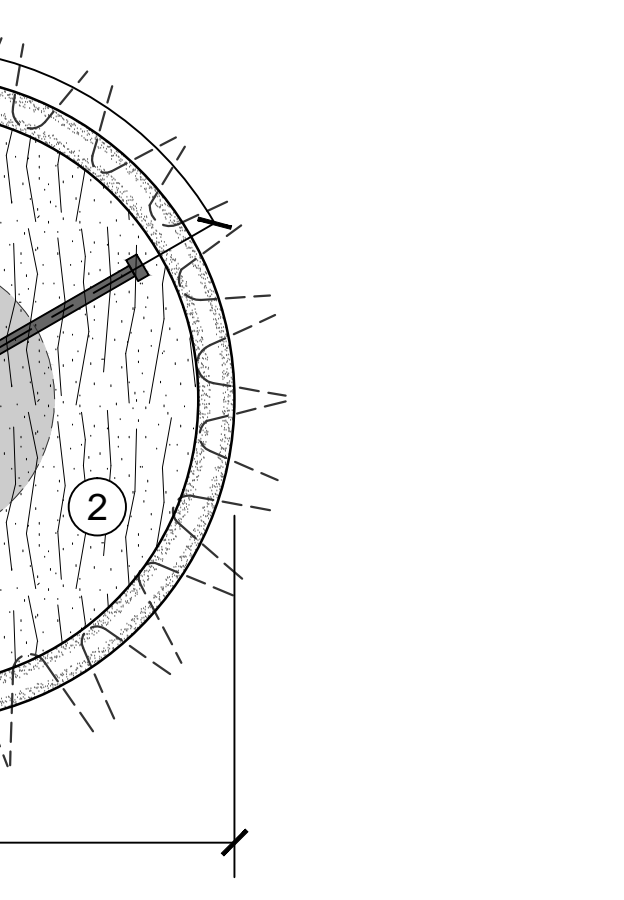


7 SHRUB/GROUND COVER PLANTING & SPACING
 1" = 1'-0" 329333-08

CALIPER MEASUREMENTS NOTES:
 1. CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 2. CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.
 REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



2 SABAL PALM PLANTING
 1/4" = 1'-0" 329343-21



5 LARGE TREE STAKING DETAIL
 3/8" = 1'-0" 329343-22

1. TREE TRUNK.
 2. SHRUB OR GROUND COVER AS APPLICABLE.
 3. CURBING, REFER TO PLANS.
 4. SURFACING & SUB-BASE AS SPECIFIED BY ENGINEER.
 5. SPECIFIED SOIL MIX.
 6. REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM TREE ROOTBALL.
 7. MULCH OR OTHER SPECIFIED SURFACE TREATMENT.
 8. EXISTING SOIL.
 9. FERTILIZER TABLET AS APPLICABLE.
 10. WIDTH VARIES, REFER TO PLAN.
 11. EXCAVATE MEDIAN OF ALL BASE ROCK AND/OR CONSTRUCTION MATERIAL TO A MINIMUM DEPTH OF 36" BELOW TOP OF CURB OR TO NATURAL SOIL, WHICH EVER IS GREATER.
 12. SLOPE PER ENGINEERING PLANS.
 13. EXISTING OR PROPOSED UTILITY



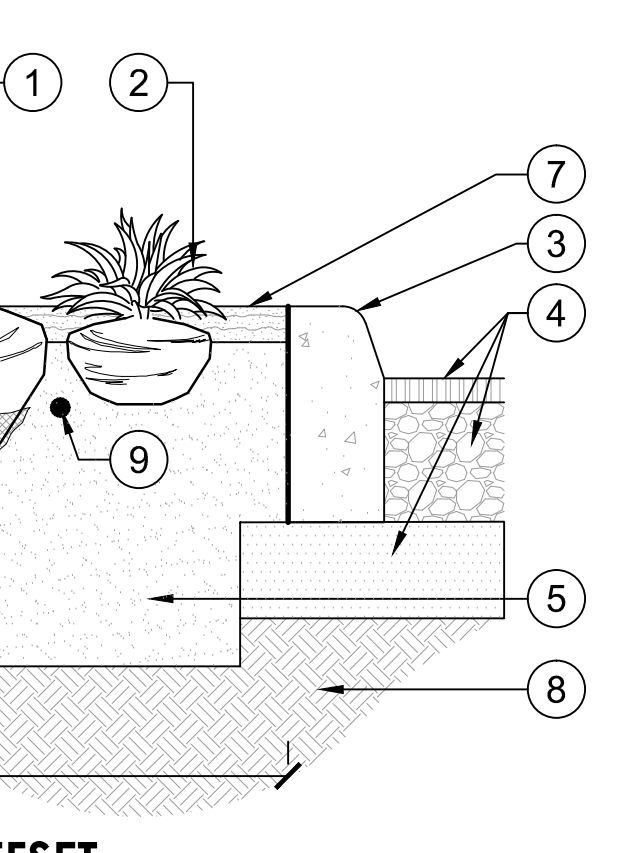
4 5' MINIMUM UTILITY TREE OFFSET
 3/4" = 1'-0" 329343-26

CALIPER MEASUREMENTS NOTES:
 1. CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 2. CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.
 REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



1 LARGE TREE PLANTING: 2" CALIPER AND GREATER
 1/4" = 1'-0" 329343-17

1. DO NOT PRUNE CENTRAL LEADER
 2. PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING USING ACCEPTABLE NURSERY PRACTICES OR AS DIRECTED BY THE LANDSCAPE ARCHITECT
 3. PROTECT TRUNK WITH 3 LAYERS OF BURLAP MINIMUM
 4. 1" WIDE MIN. NYLON STRAPPING AT EQUAL SPACING (3 PER TREE) GUY WIRES SHALL NOT TO BE USED
 5. FLUORESCENT MARKING FLAG
 6. FINISH GRADE
 7. 3' LAYER OF SPECIFIED MULCH. DO NOT INSTALL WITHIN 3" OF TREE TRUNK
 8. FERTILIZER TABLET IF APPLICABLE
 9. CONSTRUCT TEMPORARY 3" WATERING BASIN.
 10. 2"x4"x8" STAKE. SET 2" BELOW FINISH GRADE
 11. SPECIFIED SOIL MIX
 12. EXISTING SOIL
 13. 2X DIAMETER OF THE ROOTBALL
 14. SET CROWN OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
 15. SET ROOTBALL ON UNDISTURBED SOIL
 16. REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM ROOTBALL
 17. CLEAR TRUNK. REFER TO PLANT SCHEDULE



3 MULTI-TRUNK TREE PLANTING
 1/4" = 1'-0" 329343-19

1. CONTACT UTILITY COMPANY AND ENSURE UTILITY LINES ARE PROPERLY LOCATED PRIOR TO DIGGING OR TRENCHING.
 2. FOR EXISTING TREES, CONSULT A PROFESSIONAL ARBORIST IF ROOT TRIMMING IS REQUIRED.
 3. INSTALL & COVER BIOBARRIER WITHIN 12 HOURS AFTER OPENING. HIGH TEMPERATURES AND DIRECT SUNLIGHT CAN REDUCE EFFECTIVE PRODUCT LIFE.
 4. INSTALL TYPAR BIOBARRIER ROOT CONTROL FABRIC WITH NODULES FACING TOWARD ROOT SOURCE.
 5. BACKFILL AND TAMP FIRMLY TO ELIMINATE SOIL SETTLING. WET SOIL, IF NECESSARY, TO ENSURE PROPER SOIL COMPACTION.
 6. TYPAR BIOBARRIER ROOT CONTROL FABRIC VERTICALLY PLACED TO STOP LATERAL ROOT GROWTH.
 7. EXTEND ROOT CONTROL FABRIC TO A DEPTH BELOW EXISTING OR PROPOSED UTILITY LINES.



6 TREE ROOT BARRIER - ADJACENT UTILITIES
 3/4" = 1'-0" 32 9413.23-01

LANDSCAPE SPECIFICATIONS

1. GENERAL

- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
 - 1.2. SOURCE OF BASE INFORMATION PROVIDED BY OWNER AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
 - 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
 - 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
 - 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
 - 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
 - 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
 - 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
 - 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
 - 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
 - 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
 - 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.
2. PRE-CONSTRUCTION RESPONSIBILITY
- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
 - 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
 - 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
 - 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
 - 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
 - 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.
3. SITE DEMOLITION
- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - 3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - 3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
 - 3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.
 - 3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.
 - 3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
 - 3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.
4. TREE PRESERVATION
- 4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.

- 4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.
 - 4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.
 - 4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:
 - 4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
 1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 3. BACKFILL TRENCH WITH PLANTING SOIL.
 4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).
 - 4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
 - 4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
 - 4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
 - 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.
5. PLANTING SOIL
- 5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
 - 5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.
 - 5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:
 - 5.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT
 - 5.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK
 - 5.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK
6. LANDSCAPE PLANTING
- 6.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
 - 6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
 - 6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
 - 6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
 - 6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.
 - 6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES, MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
 - 6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
 - 6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.
 - 6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
 - 6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF "1" ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
 - 6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.
 - 6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
 - 6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEOUS MATERIAL.
 - 6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
 - 6.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
 - 6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

- 6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
 - 6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
 - 6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
 - 6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
 - 6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
 - 6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
 - 6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.
 - 6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
 - 6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
 - 6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
 - 6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.
7. TURF GRASSES
- 7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.
8. MULCH & FERTILIZER
- 8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLORI-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - 8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING.
 - 8.3. A1 @ < G: 5 @ @ B C H 6 9 - B G 5 @ @ 8 K 4 4 - B * ' C : 1 F 9 0 H B ? G
 - 8.4. FERTILIZER MIX AS FOLLOWS:
 - 8.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS
9. WATERING
- 9.1. ALL LANDSCAPED AREAS WITHIN THE COMMUNITY CENTER SITE WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. ALL LANDSCAPE AREAS WITHIN THE OVERFLOW PARKING SITE SHALL BE HAND WATERED FOR DURATION OF ESTABLISHMENT PERIOD IN ACCORDANCE WITH STANDARD NURSERY PRACTICES.
 - 9.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.
10. PROJECT CLOSEOUT
- 10.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
 - 10.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
 - 10.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
 - 10.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
 - 10.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.
11. GUARANTEE
- 11.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.
 - 11.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
 - 11.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

PRELIMINARY SITE PLAN SUBMITTAL. NOT FOR CONSTRUCTION

CHEN • MOORE

& ASSOCIATES

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CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

REGISTRATION

CRISTOBAL BETANCOURT
REGISTRATION NO. LA6666941
DATE: 10/08/15

SUB-CONSULTANT

CLIENT



PROJECT INFORMATION

SOUTH SIDE
COMMUNITY
CENTER

RIVIERA BEACH, FL

PROJECT NUMBER

15-221.002

CLIENT PROJECT NUMBER

VERIFY SCALES

0 1"

IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE

10/08/15

DESIGNED BY

JS

DRAWN BY

JS

CHECKED BY

EH

DRAWING TITLE

LANDSCAPE
SPECIFICATIONS

DRAWING NUMBER

L1.04
OF



WEST
ARCHITECTURE
+ DESIGN, LLC
AA26001503

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CONSULTANT:

NEW DEVELOPMENT
FOR:

RIVIERA BEACH HEIGHTS COMMUNITY CENTER

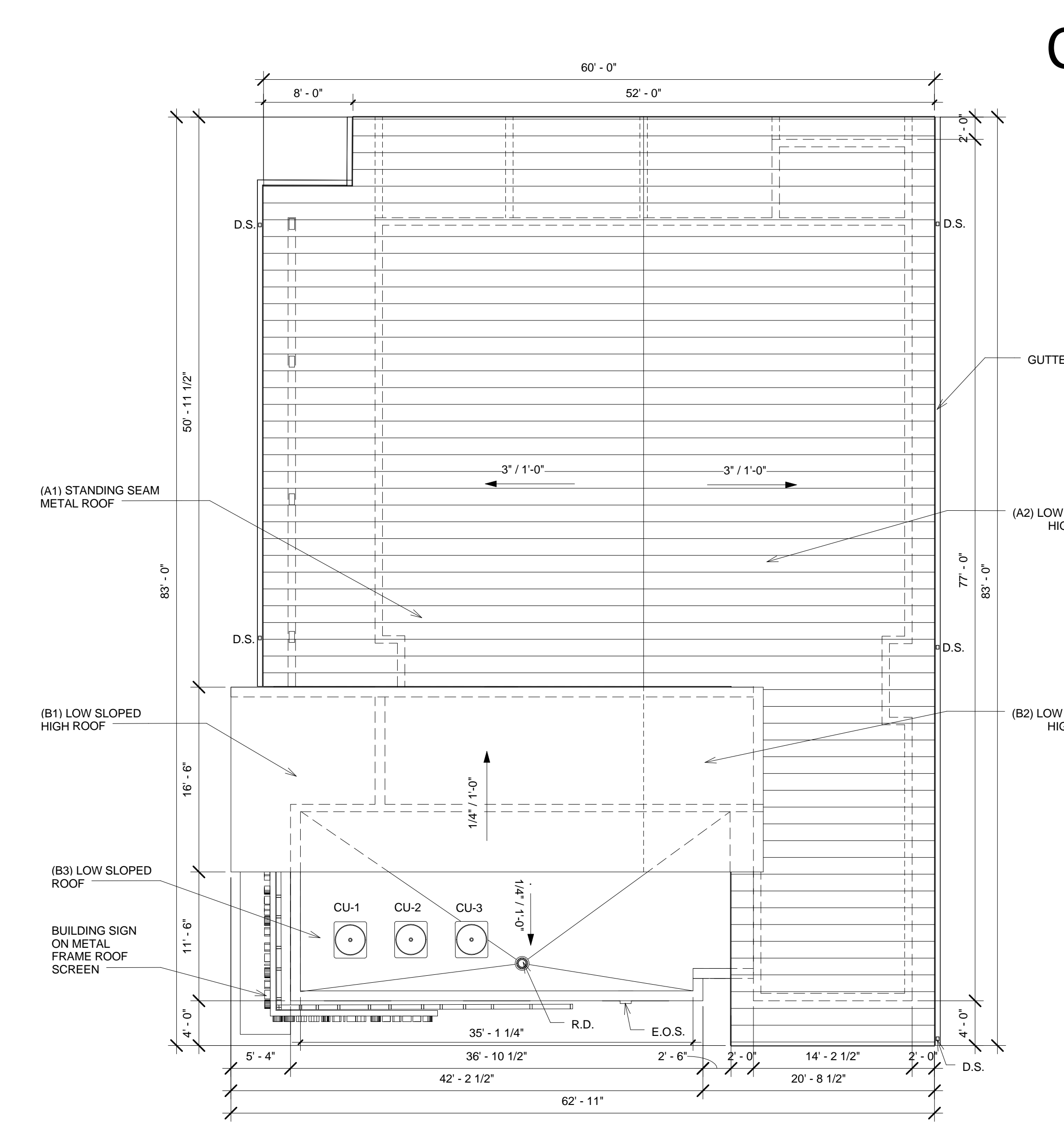
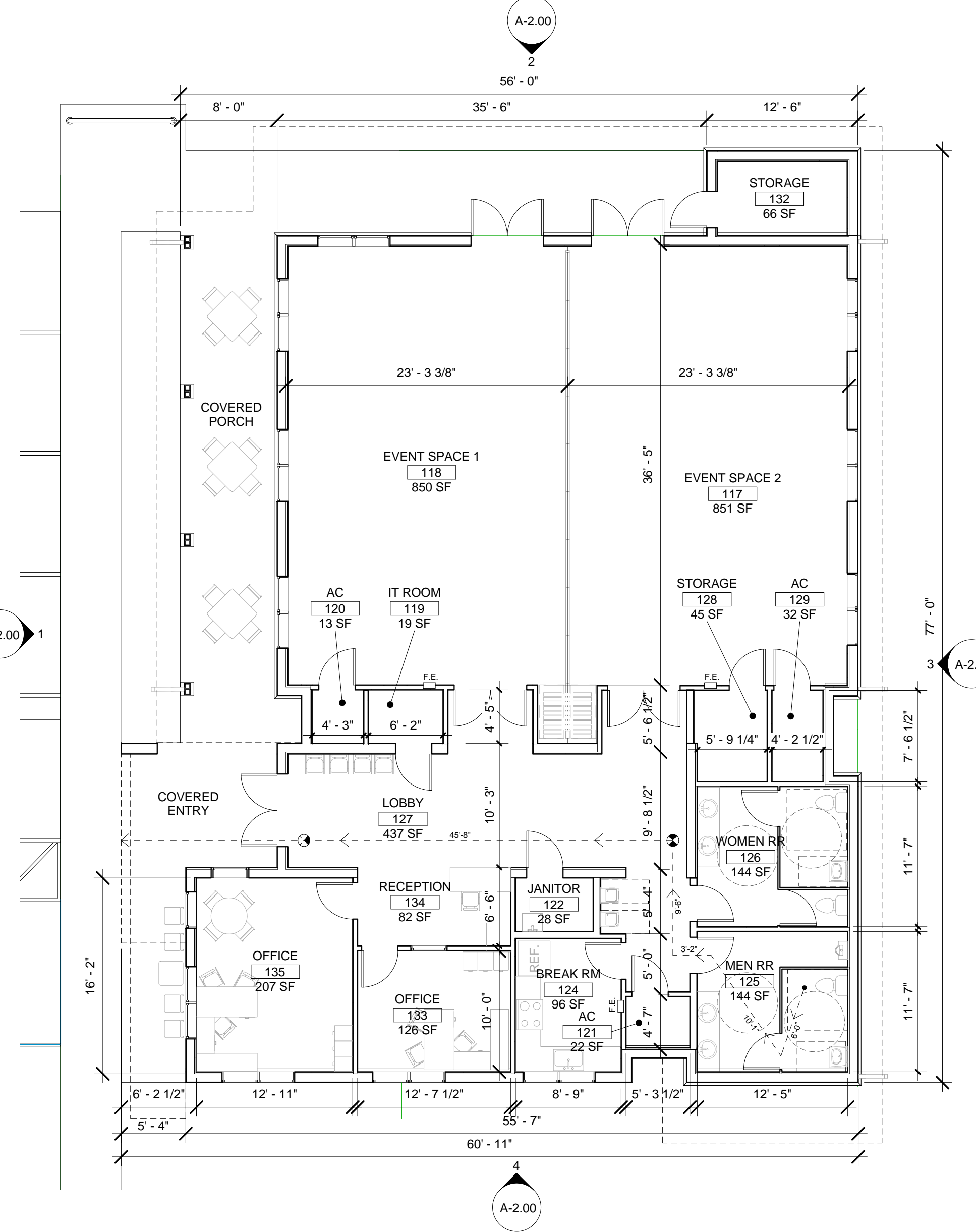
594 W 4TH ST.
RIVIERA BEACH, FL
33404

DATE: 10-06-15
NUMBER: A15-011
REVIEWED: MW
MANAGED: PG
DRAWN: BG
REVISION:

FLOOR PLAN

A-1.00

BUILDING DATA:		
FLORIDA BUILDING CODE FIFTH EDITION (2014)		
OCCUPANCY CLASSIFICATION (CHAPTER 10)	A-3 ASSEMBLY	
TYPE OF CONSTRUCTION (CHAPTER 6)	TYPE V (B) (NON-SPRINKLERED)	
	ALLOWED	PROVIDED
MAXIMUM HEIGHT IN FEET (TABLE 603, SECTION 606)	40 FT (60 FT) *	20'-6"
MAX. NO. STORIES	1	1
AREA ONE STORY	6,000 SF	4,455 SF
FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS- (TABLE 607)		
PRIMARY STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	ALLOWED	PROVIDED
	0 HR	0 HR
BEARING WALLS	ALLOWED	PROVIDED
	0 HR	0 HR
EXTERIOR (TABLE 602)	ALLOWED	PROVIDED
	0 HR	0 HR
INTERIOR	ALLOWED	PROVIDED
	0 HR	0 HR
NONBEARING WALLS AND PARTITIONS	ALLOWED	PROVIDED
	0 HR	0 HR
FLOOR CONSTRUCTION	ALLOWED	PROVIDED
	0 HR	0 HR
INTERIOR AND SECONDARY MEMBERS	ALLOWED	PROVIDED
	0 HR	0 HR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	ALLOWED	PROVIDED
	0 HR	0 HR
FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS- (TABLE 602)		
FIRE SEPARATION DISTANCE	ALLOWED	PROVIDED
	0 FT TO 5 FT	N/A
OVER 5 FT TO 10 FT	N/A	1 HR
OVER 10 FT TO 20 FT	N/A	1 HR
OVER 20 FT TO 30 FT	N/A	0 HR
OVER 30 FT	0 HR	0 HR
MEANS OF EGRESS (CHAPTER 10)		
OCCUPANT LOAD (SECTION 1004, TABLE 1004.1.1)	ALLOWABLE	PROVIDED
	ASSEMBLY (A-3) (UNCONCENTRATED TABLES AND CHAIRS) - 1/15 NET (1,792 / 15 = 119.46)	119.46
BUSINESS (B) - (1/100 GROSS, 469/100 = 4.69)	4.69	-
TOTAL OCCUPANT LOAD	124.15	125
EGRESS WIDTH PER OCCUPANT SERVED (SECTION 1005)		
STAIRS (0.3 X 125 (2ND FL) = 33.3)	N/A	N/A
LEVEL (0.2 X 125 (2ND FL) = 21.4)	25 IN.	60 IN. (MIN.)
MINIMUM CLEAR OPENING OF EXIT DOORS (SECTION 1006.1.1)	32 IN.	34 IN.
MINIMUM STAIR WIDTH (SECTION 1009.1)	44 IN.	N/A
COMMON PATH OF EGRESS (SECTION 1014.3)	75 FT.	74' - 6"
EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.2)	200 FT.	74' - 6"
DEAD ENDS (SECTION 1016.4)	20 FT.	10' - 4"
MINIMUM NUMBER OF EXITS (TABLE 1021.1)	2	3



PLUMBING FIXTURE CALCULATIONS:
PER FLORIDA PLUMBING CODE, 2014 EDITION, (TABLE 403.1.)
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES

OCCUPANCY	OCC. LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAIN		SERVICE SINK		SHOWER	
		MALE	FEMALE	MALE	FEMALE	1 PER 500	1 SERVICE SINK	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
EVENT SPACE (A-3)	1 PER 125	1 PER 65	1 PER 200	1 PER 500	1 SERVICE SINK	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
120	REQ. .96	PROVD. 1.84	REQ. .6	PROVD. .24	REQ. 1	PROVD. 1	REQ. 0	PROVD. 0	REQ. 0	PROVD. 0	REQ. 0
OFFICES (B)	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	1 PER 40 FOR THE FIRST 50 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 50	1 PER 100	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED
5	REQ. .10	PROVD. 1.2	REQ. .125	PROVD. .29	REQ. 1	PROVD. 1	REQ. 0	PROVD. 0	REQ. 0	PROVD. 0	REQ. 0
TOTAL	1.06	2.04	2	2	1.25	3	.29	1	1	1	0

LIFE SAFETY CODE:
FLORIDA FIRE PREVENTION CODE FIFTH ADDITION (2014)
NFPA 101. LIFE SAFETY CODE, 2015 EDITION

OCCUPANCY CLASSIFICATION (CHAPTER 10): A-3 ASSEMBLY, 4,455 S.F.

MEANS OF EGRESS (CHAPTER 10)

	ALLOWABLE	PROVIDED
OCCUPANT LOAD (TABLE 1004.1.1)	119.46	-
EVENT SPACE (LESS CONCENTRATED USE, WITHOUT FIXED SEATING) - (1 / 15 SF - NET) 1,792 / 15 = 119.46	119.46	-
OFFICE (1 / 100 SF) 469 / 100 = 4.69	4.69	-
TOTAL OCCUPANT LOAD	124.15	125
REQUIRED MEANS OF EGRESS (CHAPTER 10.4)		
MINIMUM STAIR WIDTH (TABLE 1009.1)	44 IN.	N/A
MINIMUM WIDTH PER OCCUPANT SERVED (SECTION 1005)		
PER LEVEL (0.2 X 125 (2ND FL) = 25 IN.)	25 IN.	60 IN. (MIN.)
PER STAIRS (0.3 X 125)	N/A	N/A
NUMBER OF MEANS OF EGRESS (SECTION 1014)	2	3
ARRANGEMENT OF MEANS OF EGRESS (SECTION 1016)	-	*SEE PLAN
DEAD END (TABLE 1016.4)	20 FT.	10' - 4"
COMMON PATH (TABLE 1014.3)	20 / 75 FT.	74' - 6"
TRAVEL DISTANCE (TABLE 1016.2)	200 FT.	74' - 6"
MINIMUM NUMBER OF EXITS (TABLE 1021.1)	2	3

ROOF AREA CALCULATIONS

ROOF	ROOF SIZE	VERTICAL WALL (1/2) AREA	TOTAL AREA
ROOF 'A1'	1,682 SF	98 SF	1,780 SF
ROOF 'A2'	1,834 SF	82 SF	1,916 SF
ROOF 'B1'	610 SF	0 SF	610 SF
ROOF 'B2'	177 SF	0 SF	177 SF
ROOF 'B3'	637 SF	134 SF	771 SF

ROOF DRAIN CALCULATIONS
(AS PER FLORIDA PLUMBING CODE 2014, TABLE 1106.2(2) BASED ON 5 IN ANNUAL RAINFALL)

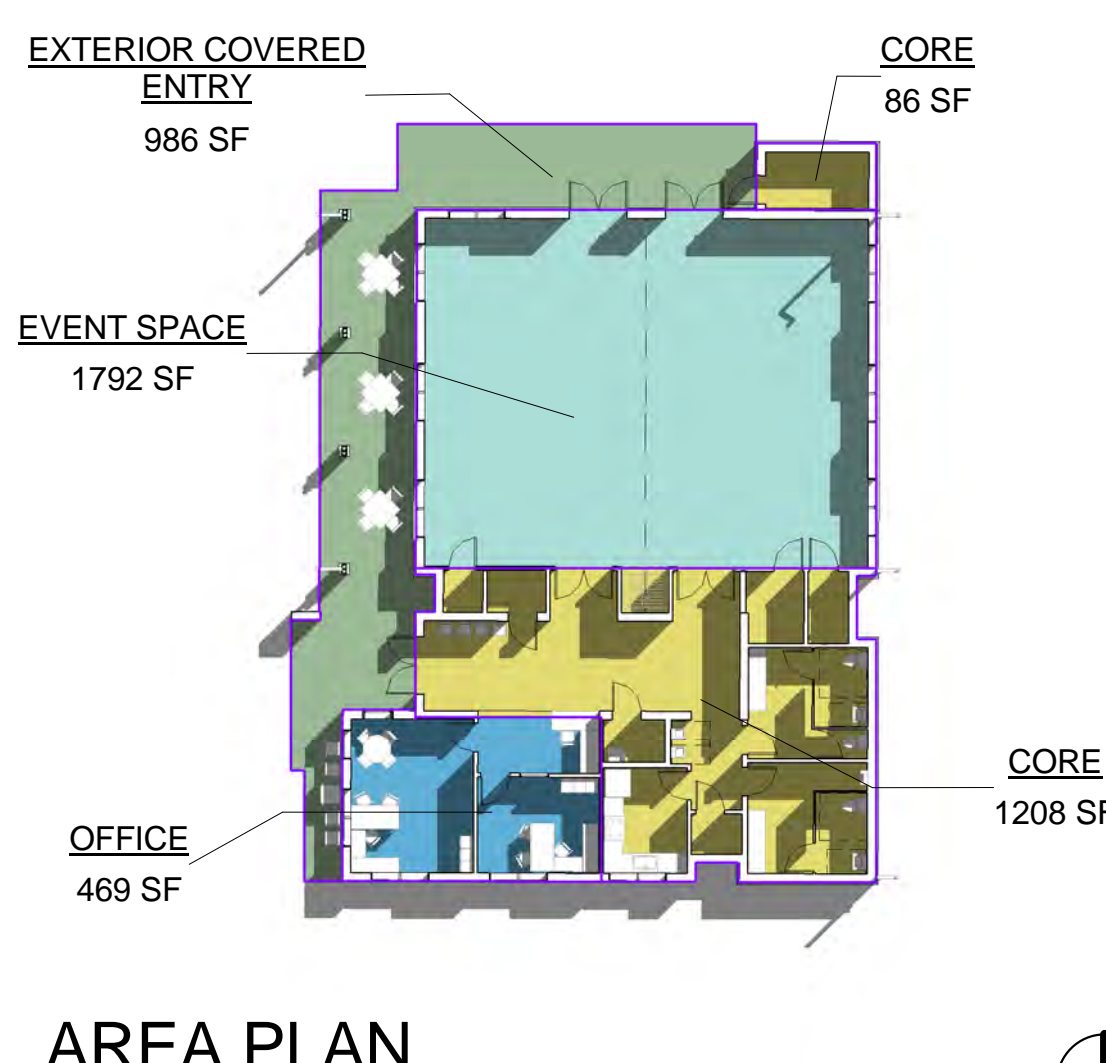
ROOF	TOTAL ROOF AREA	REQUIRED SIZE OF VERTICAL LEADERS	MINIMUM PROVIDED SIZE OF RECTANGULAR VERTICAL LEADERS
ROOF 'A1 + B1'	2,392 SF	2-3/4" X 4-1/4" (4" DIA.)	3" X 4"
ROOF 'A2 + B2'	2,093 SF	2-3/4" X 4-1/4" (4" DIA.)	3" X 4"
ROOF 'B3'	771 SF	3" DIA.	4" DIA.

NOTE 1: GUTTERS & LEADERS TO BE PER MANUFACTURERS RECOMMENDATION

EMERGENCY OVERFLOW SCUPPERS
(AS PER FLORIDA PLUMBING CODE 2014, TABLE 1106.7, BASED ON 5 IN ANNUAL RAINFALL)

ROOF	TOTAL ROOF AREA	REQUIRED OVERFLOW SCUPPER SIZE	PROVIDED OVERFLOW SCUPPER SIZE
ROOF 'A1 + B1'	2,292 SF	N/A	N/A
ROOF 'A2 + B2'	2,011 SF	N/A	N/A
ROOF 'B3'	771 SF	12" X 2"	12" X 8"

TYPICAL EMERGENCY OVERFLOW SCUPPER
NOTE: SCUPPERS TO BE PLACED TO ALLOW NO MORE THAN 2" OF WATER TO ACCUMULATE ON THE ROOF



AREA CALCULATIONS

UNDER AIR:		
EVENT SPACE	1,792 SF	
COMMON AREA	1,208 SF	
OFFICES	469 SF	
TOTAL UNDER AIR: 3,469 SF		
COVERED PATIO	986 SF	
TOTAL UNDER ROOF: 4,455 SF		

W:\Architect\Design\0 - Projects\PROJECTS\15111 - 081 Highways Community Center - SCHEMATIC

City Council EXHIBIT "C"



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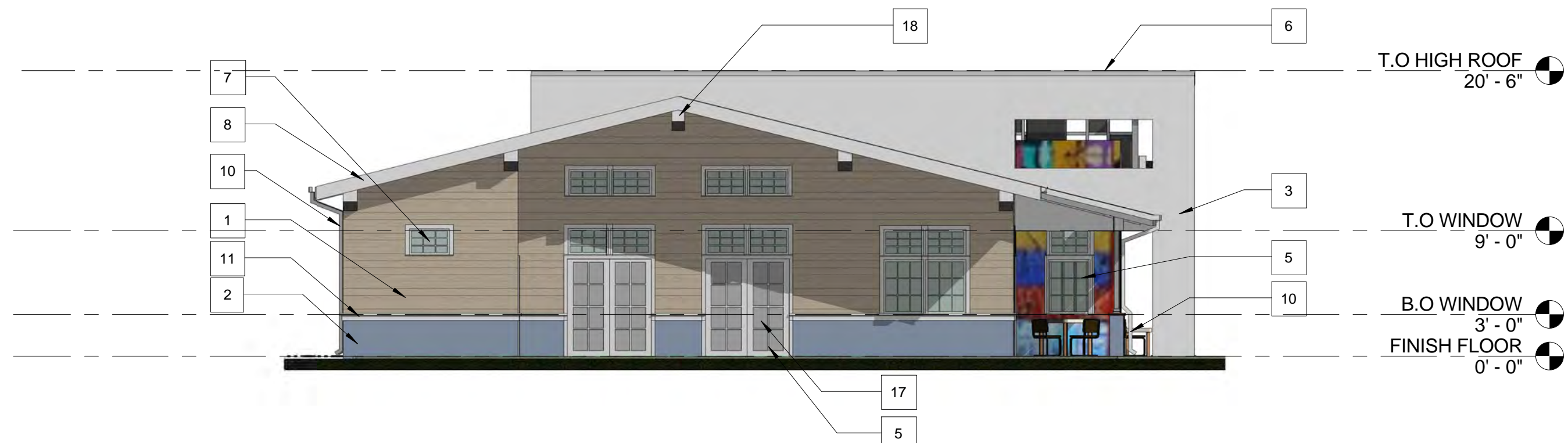
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EXTERIOR ELEVATIONS

A-2.00



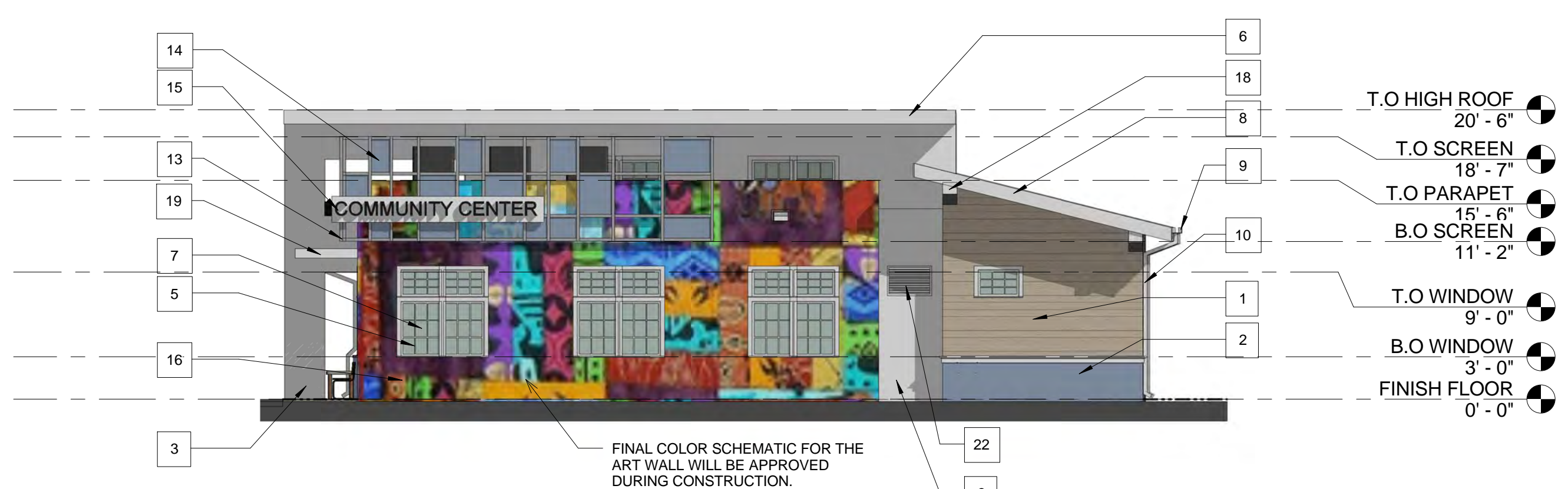
1 WEST ELEVATION
A-2.00 1/8" = 1'-0"



2 NORTH ELEVATION
A-2.00 1/8" = 1'-0"



3 EAST ELEVATION
A-2.00 1/8" = 1'-0"



4 SOUTH ELEVATION
A-2.00 1/8" = 1'-0"

City Council EXHIBIT "C"



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CONSULTANT:



VIEW FROM SOUTHEAST



VIEW FROM SOUTHWEST



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST

NEW DEVELOPMENT
FOR:

RIVIERA BEACH HEIGHTS COMMUNITY CENTER

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RIVIERA BEACH, FL
33404

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MANAGED:	PG
DRAWN:	Author

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RENDERINGS

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