

NEW WAREHOUSE BUILDING FOR MULTI-TENANT BUSINESS

Site Address

HAVERHILL INDUSTRIAL PARKWAY, LOTS #10 & 11
RIVIERA BEACH, FL 33407

SITE PLANNING SUBMITTAL
AUGUST 08, 2016/R1



ARTIST RENDERING

PROJECT TEAM

ARCHITECT:
- HM2V, INC.
513 US HIGHWAY 1, SUITE 110, NORTH PALM BEACH, FL
VINCENT KAHER, PROJECT MANAGER
PHONE 561/855-2097
EMAIL- VINCENT_KAHER@HM2V.COM

CIVIL ENGINEER:
- JEFF H. IRAVANI, INC.
1934 COMMERCE LANE, SUITE 5, JUPITER, FL 33458
JEFF IRAVANI, PRINCIPAL IN-CHARGE
PHONE 561/575-6030
EMAIL- JHI@BELLSOUTH.NET

LANDSCAPE ARCHITECTURE:
- WAYNE VILLAVASO LANDSCAPE ARCHITECTURE, INC.
268 FLAMINGO DRIVE, WEST PALM BEACH, FL 33401
WAYNE VILLAVASO, PM
PHONE 561/820-1566
EMAIL- WAYNE@WVLAINC.COM

SURVEYOR:
- DAILEY AND ASSOCIATES, INC.
112 N US HIGHWAY 1, TEQUESTA, FL 33469
GREGORY T. TUCKER
PHONE 561/746-8424

PROJECT DATA

DESCRIPTION:
- WAREHOUSE BUILDING FOR MULTI TENANT BUSINESS

AGENCY OF JURISDICTION:
- CITY OF RIVIERA BEACH
PLANNING & ZONING DEPARTMENTS
CITY COUNCIL SPECIAL PROJECTS, DISTRICT 3

APPLICABLE CODES:
- CITY OF RIVIERA BEACH CODE OF ORDINANCES
- THE FLORIDA BUILDING CODES, 5TH EDITION
- FLORIDA FIRE PREVENTION CODE, 5TH EDITION
- NATIONAL ELECTRIC CODE, 2011 EDITION

SHEET INDEX

G-1 COVER SHEET AND GENERAL INFORMATION
SURVEY SITE SURVEY
A-0.1 SITE PLAN, PROJECT DATA AND SITE DETAILS
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C-4.0 WATER & WASTEWATER PLAN
L-1 LANDSCAPE PLANTING PLAN
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L-3 PLANTING SPECIFICATIONS
IR-1 IRRIGATION PLAN
IR-2 IRRIGATION DETAILS
A-1.1 FLOOR PLAN, ELEVATIONS AND DETAILS
PH-1 SITE PHOTOMETRIC PLAN

HM2V

INCORPORATED
ARCHITECTURE | AA26002909
INTERIOR DESIGN | B26001614
PROJECT MANAGEMENT

PH 561-855-2097
SUITE 110, 513 US HIGHWAY 1
NORTH PALM BEACH, FLORIDA 33408

NEW WAREHOUSE BUILDING FOR
MR. PETER CASTELLANA JR.
HAVERHILL INDUSTRIAL PARK, LOTS # 10 & 11
RIVIERA BEACH, FL

Date: 08-08-2016

Drawn:

Scale:

Commission: 15-0623

Revisions:

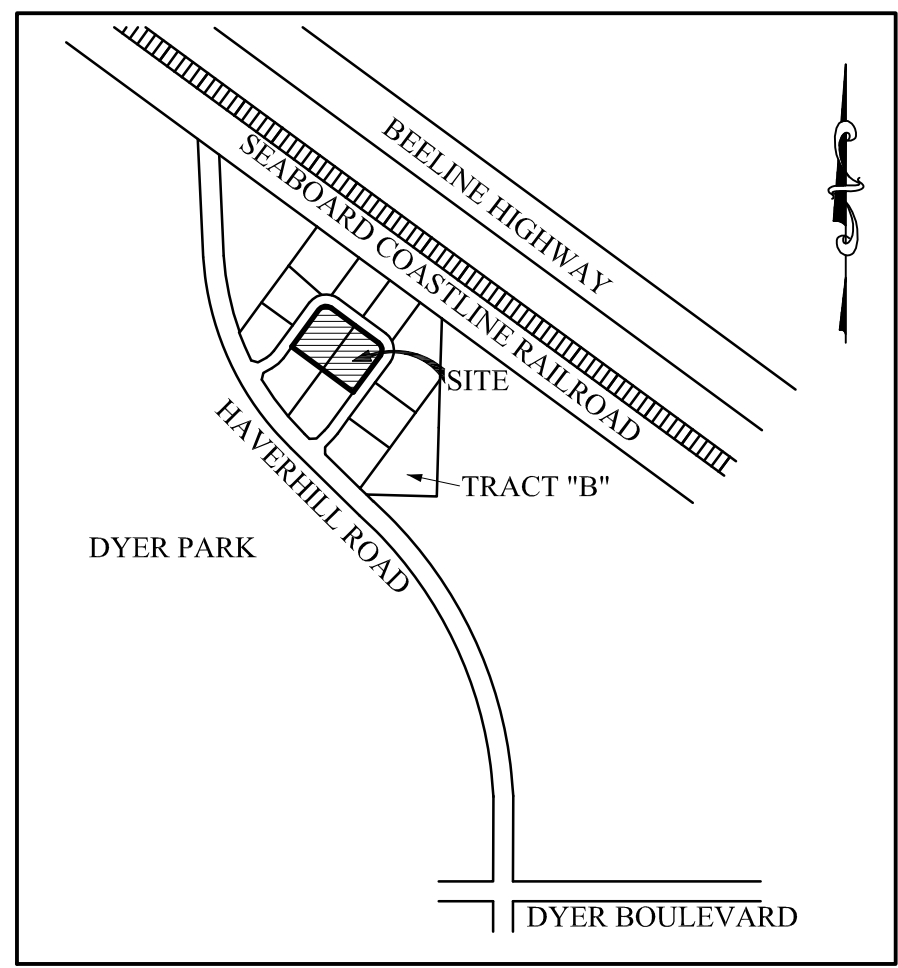
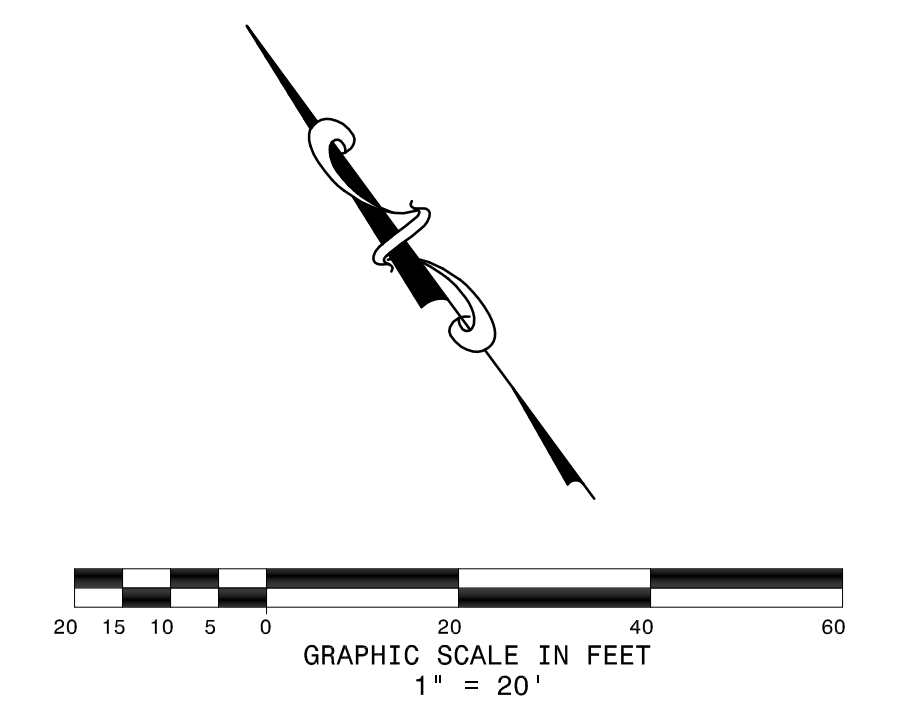
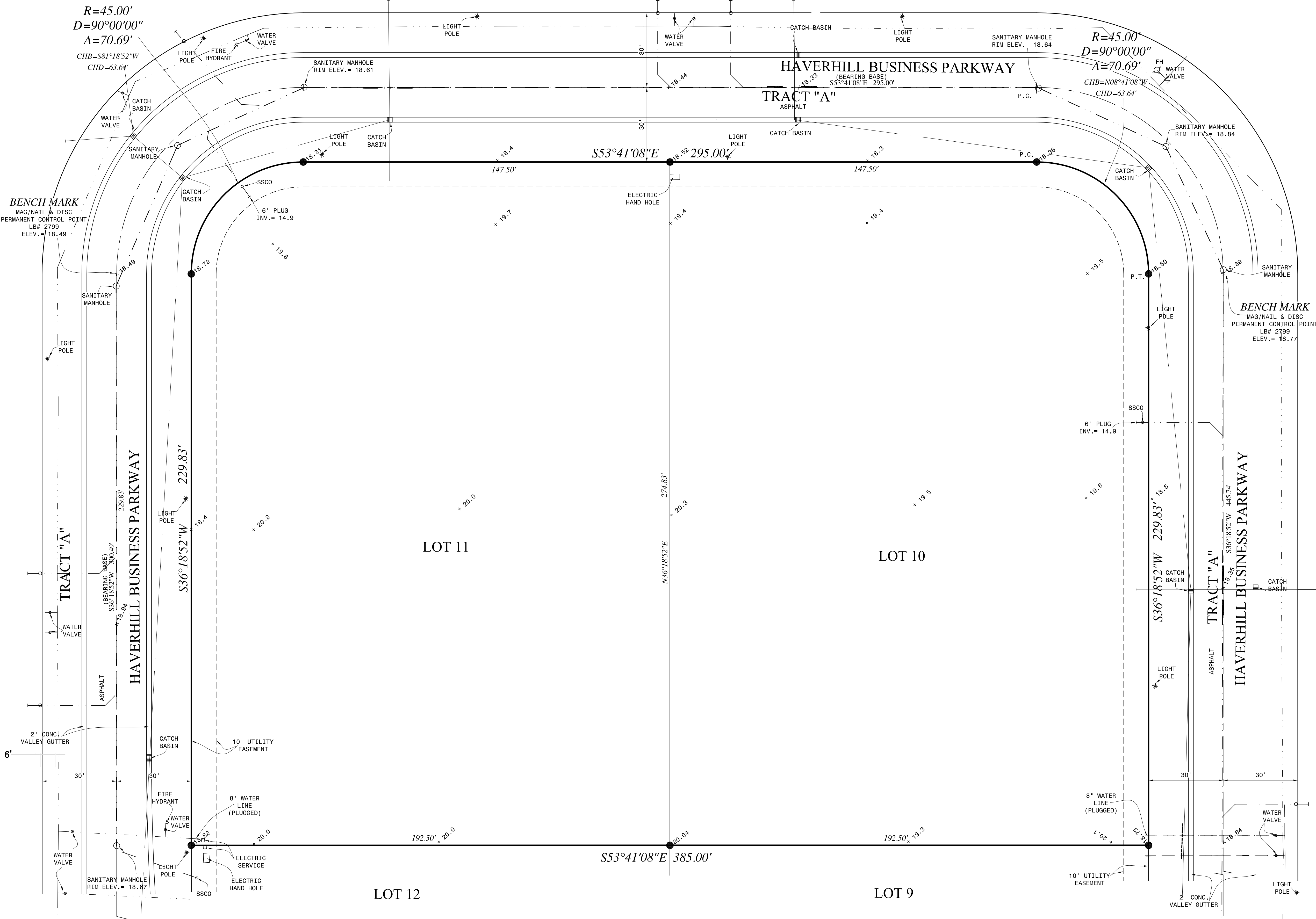
3-17-2017 (CITY COMMENTS)

Drawing:
COVER SHEET AND
GEN. INFORMATION

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G-1

SITE PLANNING SUBMITTAL



LEGEND

	FOUND (P.C.P.) PERMANENT CONTROL POINT LB# 2799
	FOUND 5/8" IRON ROD/CAP LB # 2799
	FOUND 5/8" IRON ROD/CAP LB 2799
	WOOD POWER POLE
	CONC. POWER POLE
	CENTERLINE
	P.C. POINT OF CURVATURE
	P.T. POINT OF TANGENCY
	P.R.C. POINT OF REVERSE CURVATURE
	COV. COVERED
	CONC. CONCRETE
	ELEV. ELEVATION
	F.F. FINISH FLOOR
	FP&L FLORIDA POWER & LIGHT
	WM WATER METER
	FH FIRE HYDRANT
	BFP BACK FLOW PREVENTOR
	C.B.S. CONCRETE BLOCK STRUCTURE
	SSCO SANITARY SEWER CLEAN-OUT
	BST BELL SOUTH TELEPHONE
	CTV CABLE TELEVISION
	CHB CHORD BEARING
	CHD CHORD DISTANCE
	∠ INTERIOR ANGLE
	POC POINT OF COMMENCEMENT
	POB POINT OF BEGINNING
	PROPOSED DRAINAGE
	EXISTING ELEVATION

- SURVEYOR'S NOTES:**
- 1) BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF HAVERHILL BUSINESS PARKWAY, BEING S 53°41'08" E.
 - 2) ELEVATIONS SHOWN HEREON ARE BASED UPON N.G.V.D. 1929
 - 3) UTILITIES SHOWN HEREON ARE VISIBLE ABOVE GROUND FEATURES. ADDITIONAL SUB-SURFACE UTILITIES OR STRUCTURES MAY EXIST.
 - 4) PROPERTY CONTAINS 52470 SQUARE FEET OR 1.205 ACRES, MORE OR LESS.
 - 5) NO TITLE POLICY OR COMMITMENT AFFECTING TITLE OR BOUNDARY TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. DEEDS AND EASEMENTS, RECORDED OR UNRECORDED, WHICH COULD AFFECT THIS BOUNDARY SURVEY MAY EXIST.
 - 6) NO RESPONSIBILITY IS ASSUMED BY THIS SURVEY FOR THE CONSTRUCTION OF IMPROVEMENTS, FROM BUILDING TIES SHOWN HEREON.
 - 7) ENVIRONMENTALLY SENSITIVE AREAS, IF ANY, WHICH MAY AFFECT THIS PARCEL HAVE NOT BEEN LOCATED ON THIS BOUNDARY SURVEY.
 - 8) PARCEL LIES IN FLOOD ZONE: "B" PANEL No. 120192 0145 B DATE 10/15/82.
 - 9) PARCEL CONTROL NUMBER LOT 10: 56-42-42-26-02-000-0100
PARCEL CONTROL NUMBER LOT 11: 56-42-42-26-02-000-0110

BOUNDARY, TOPOGRAPHIC SURVEY
 7220 HAVERHILL LLC
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 LOUIS J. CARBONE, P.A.

I HEREBY CERTIFY TO EACH OF THE ABOVE THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 AND 5J-17.052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOVEMBER 25, 2015
 DATE OF FIELD SURVEY

GREGORY T. TUCKER
 DAILEY AND ASSOCIATES, INC.
 FLORIDA LAND SURVEYOR NO. 6147

LEGAL DESCRIPTION
 LOTS 10 AND 11, HAVERHILL BUSINESS PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 101, PAGE 139, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

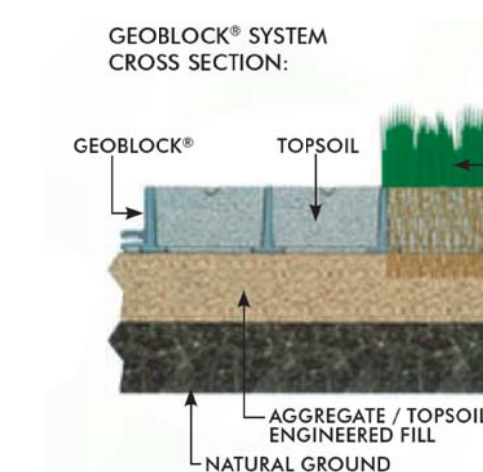
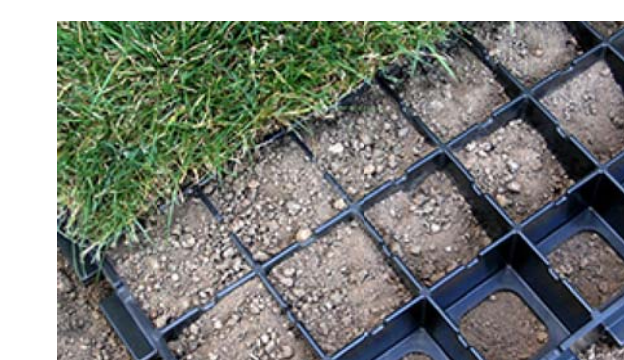
THIS SURVEY IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

UPDATE SURVEY/TOPO 11/25/2015

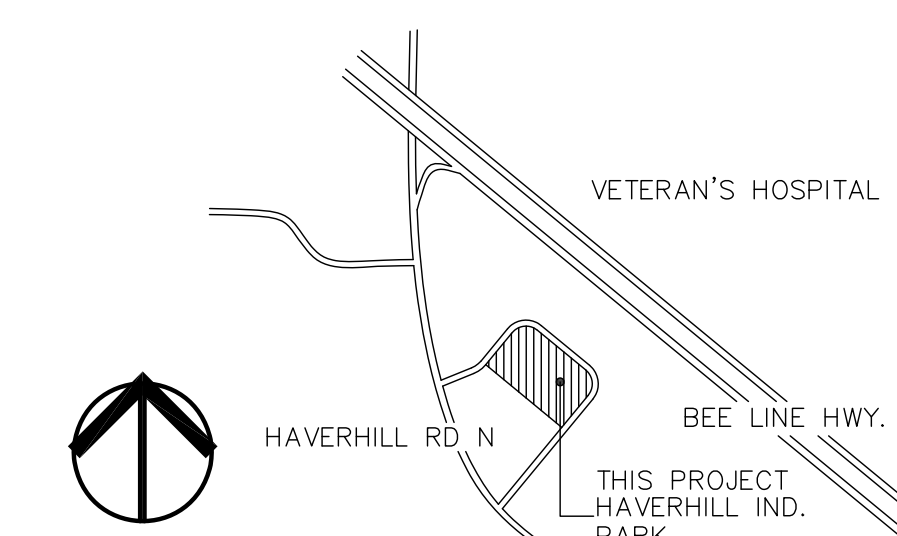
DAILEY AND ASSOCIATES, INC.
 Surveying and Mapping
 112 N. U.S. Highway No. 1
 Tequesta, FL 33469
 Phone: (561) 746-8424
 BUSINESS LICENSE: LB# 2799

DATE: NOVEMBER 25, 2015
 SCALE: 1" = 20'
 DRAWN BY: M.N. R.M.
 FIELD BOOK: SDR_00-253PC.TLSV
 PROJECT: 00-253 HAVERHILL
 DRAWING No.: 08-048-2 LOT 10-11
 WORK ORDER No.: 08-048-2

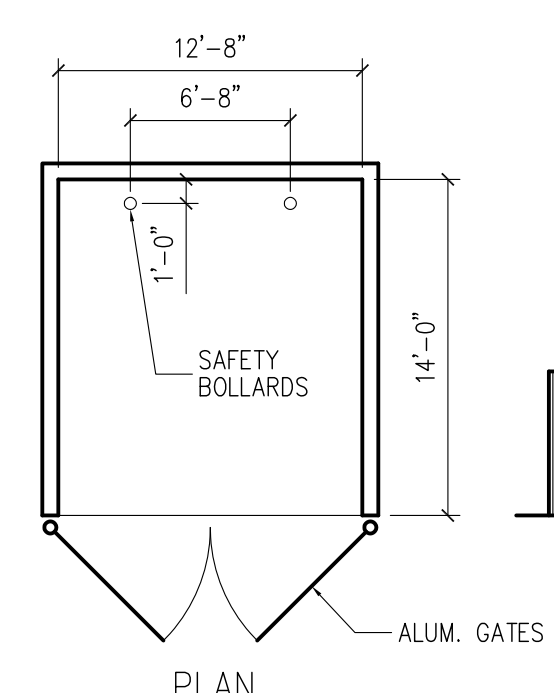
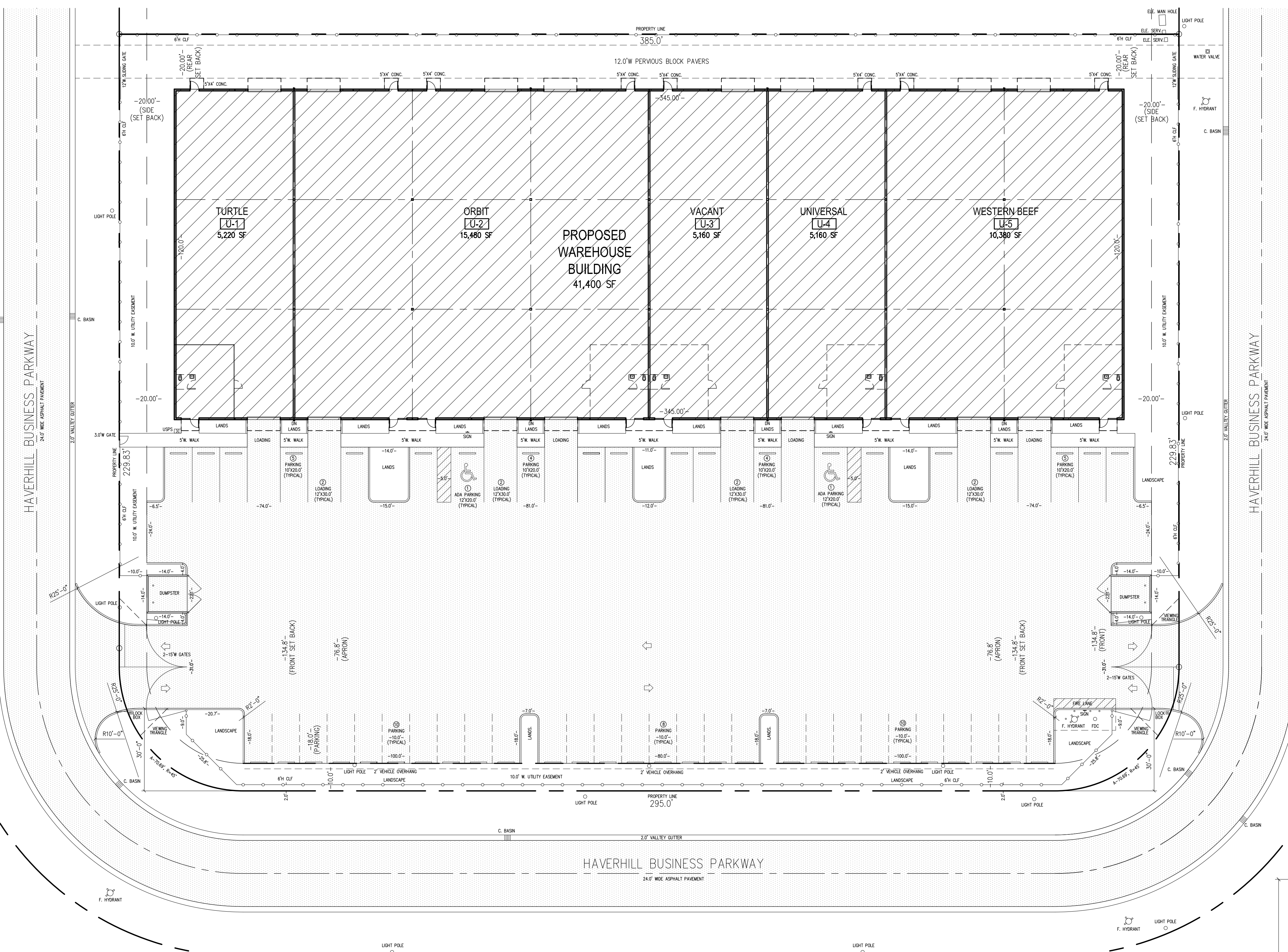
SITE DATA		
SITE AREA: 104,940 SF (2.41 ACRES)		
ZONING: GI (GENERAL INDUSTRIAL)		
PROPOSED USE: WAREHOUSE/OFFICES		
DESCRIPTION	REQUIRED	PROVIDED
BUILDING COVERAGE	47,223 SF MAX. (45%)	41,400 SF (39.3%)
PERVIOUS	20,988 SF MIN. (20%)	21,041 SF (20.1%)
IMPERVIOUS	83,952 SF MAX. (80%)	83,899 SF (79.9%)
PARKING		
WAREHOUSE: 38,400 SF	38 SPACES (1/1000 SF)	38 SPACES
OFFICE: 3,000 SF	10 SPACES (1/300 SF)	10 SPACES
TOTAL	48 SPACES	48 SPACES
ACCESSIBLE	2 SPACES (2/50)	2 SPACES
SET BACKS		
FRONT (NORTH)	40 FEET	134.8 FEET
SIDE STREET (WEST)	10 FEET	20 FEET
SIDE STREET (EAST)	10 FEET	20 FEET
REAR (SOUTH)	20 FEET	20 FEET



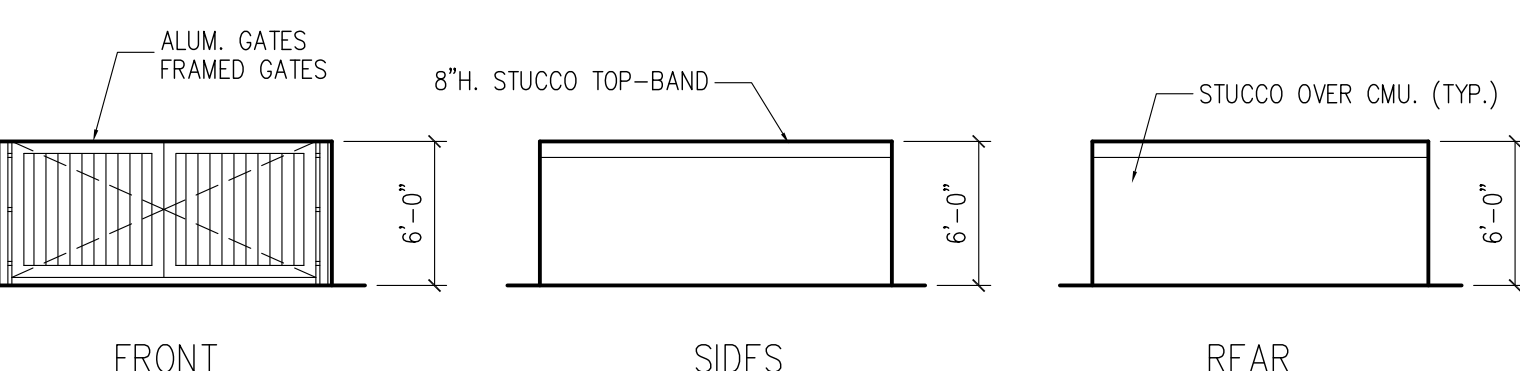
6 PERVIOUS BLOCK PAVERS
NTS



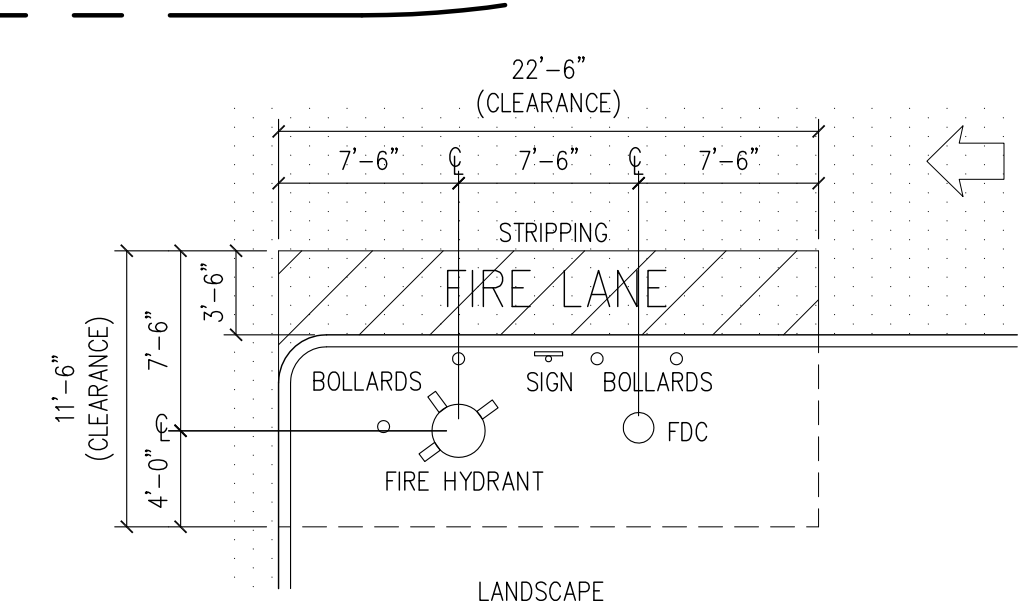
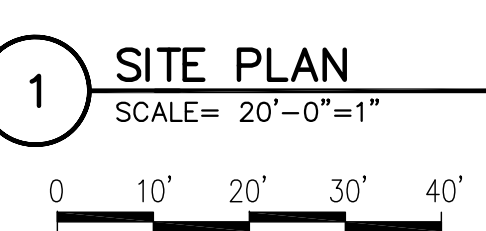
5 LOCATION MAP
NTS



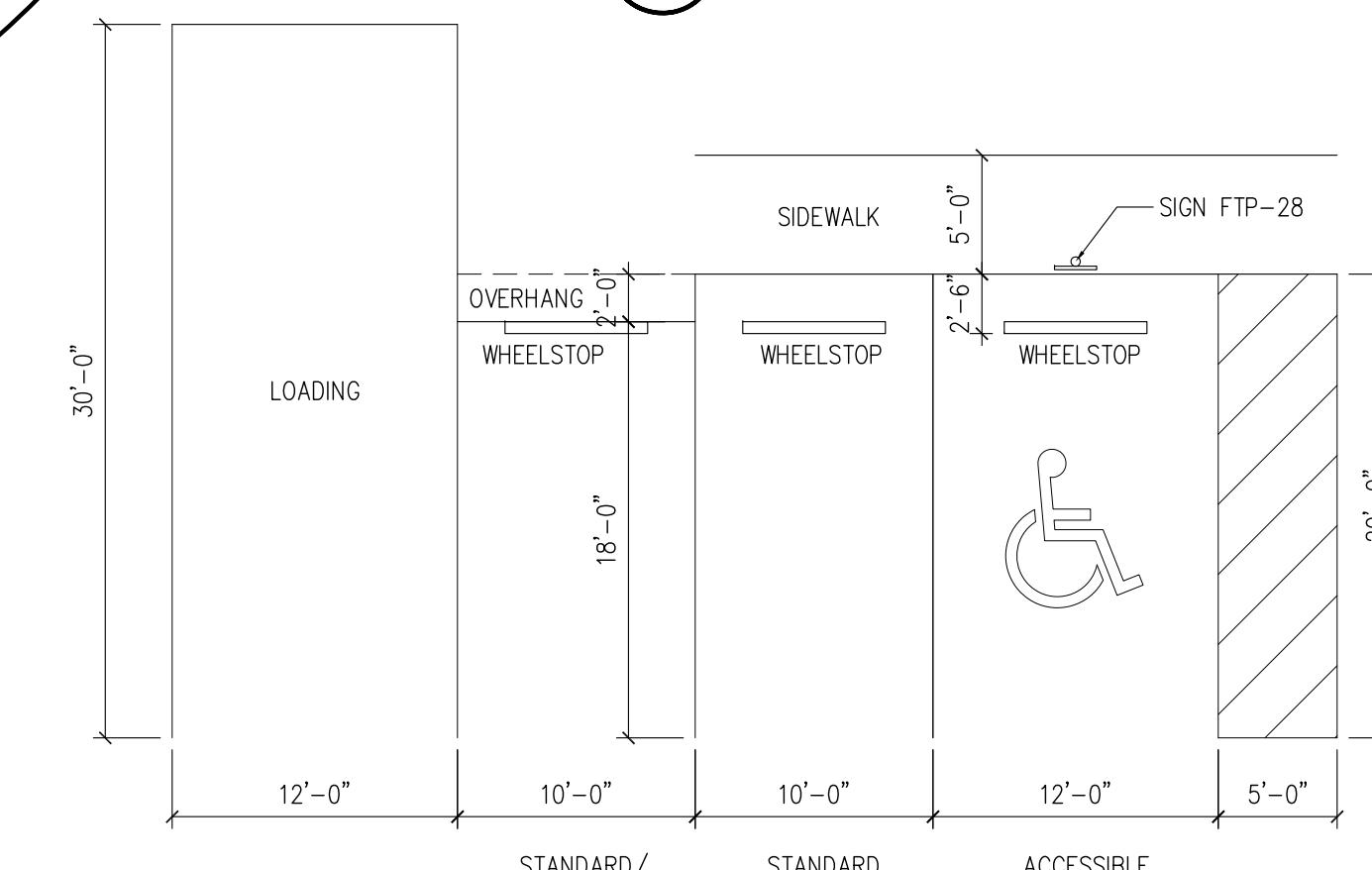
2 TYPICAL DUMPSTER ENCLOSURE
SCALE = 1/8" = 1'-0"



3 TYPICAL FENCE & GATES
SCALE = 1/8" = 1'-0"



4 FDC & FIRE HYDRANT CLEARANCES
SCALE = 1/8" = 1'-0"



4 TYPICAL PARKING SPACES
SCALE = 1/8" = 1'-0"

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HAVERHILL INDUSTRIAL PARK, LOTS # 10 & 11
RIVIERA BEACH, FL

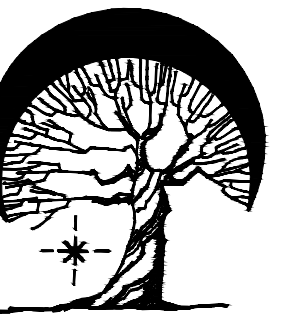
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Scale:
Commission: 15-0623
Revisions:
3-17-2017 (CITY COMMENTS)

Drawing:
SITE PLAN, DETAILS
AND DATA

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A-0.1

SITE PLANNING SUBMITAL



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 Land Planning Landscape Architecture
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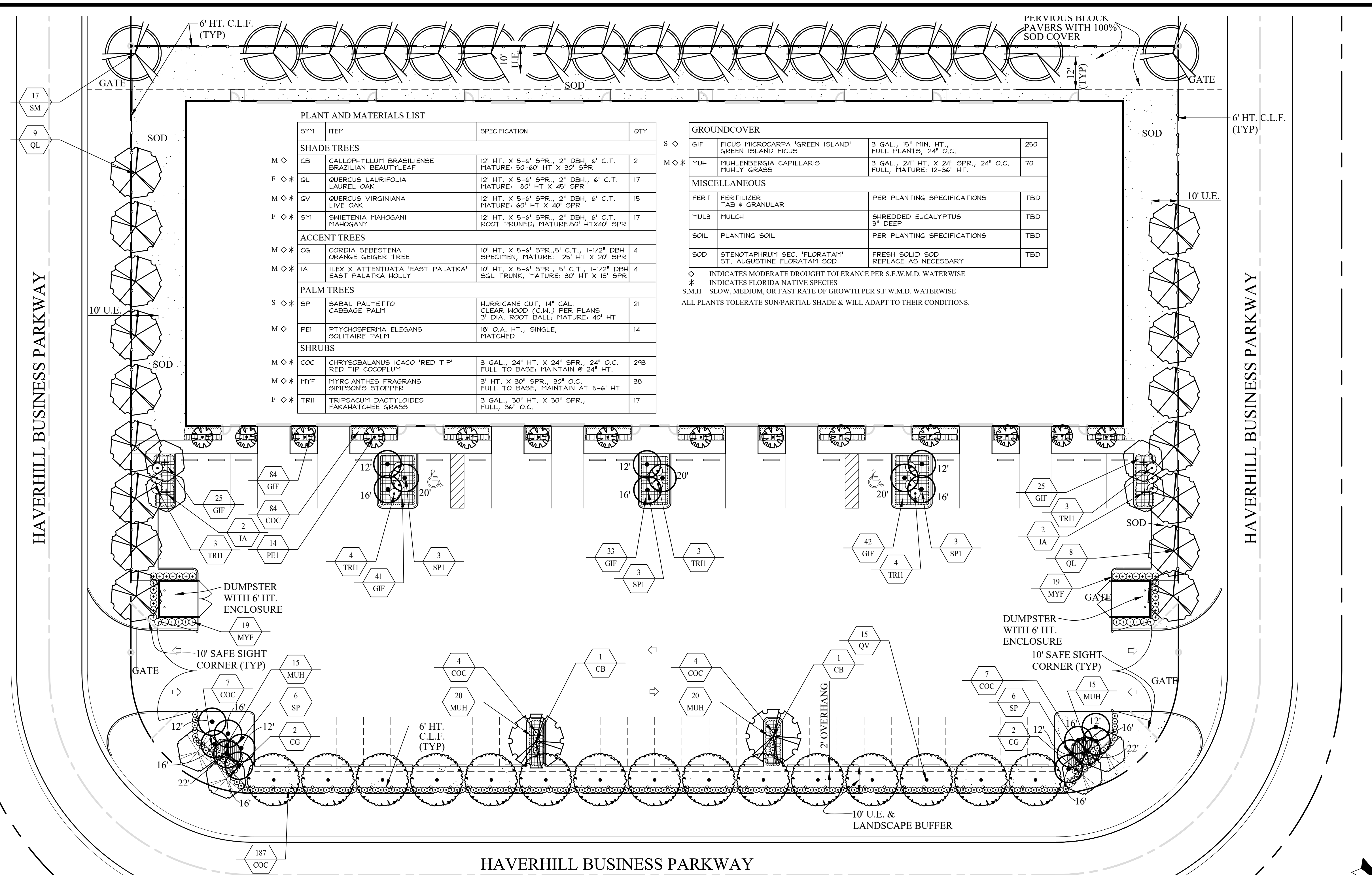
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NEW WAREHOUSE BLDG.
HAVERHILL INDUSTRIAL PARK
RIVIERA BEACH, FLA 33407

REVISIONS	
03/13/17	SP & RB COMMS

DESIGNED BY: WEV
 DRAWN BY: WEV
 CHECKED BY: WEV
 DATE: SEPT. 2016
 SCALE: AS SHOWN
 CAD FILE:

SHEET
L1
 JOB NO.
21611



SYM	ITEM	SPECIFICATION	QTY	
SHADE TREES				
M ◊	CB	CALLOPHYLLUM BRASILIENSE BRAZILIAN BEAUTYLEAF	12' HT. X 5'-6" SPR., 2" DBH, 6' C.T. MATURE: 50-60' HT X 30" SPR	2
F ◊ *	QL	QUERCUS LAURIFOLIA LAUREL OAK	12' HT. X 5'-6" SPR., 2" DBH, 6' C.T. MATURE: 80' HT X 45" SPR	17
M ◊ *	QV	QUERCUS VIRGINIANA LIVE OAK	12' HT. X 5'-6" SPR., 2" DBH, 6' C.T. MATURE: 60' HT X 40" SPR	15
F ◊ *	SM	SWIETENIA MAHOGANI MAHOGANY	12' HT. X 5'-6" SPR., 2" DBH, 6' C.T. ROOT PRUNED; MATURE: 50' HT X 40" SPR	17
ACCENT TREES				
M ◊ *	CG	CORDIA SEBESTENA ORANGE GEIGER TREE	10' HT. X 5'-6" SPR., 5' C.T. 1-1/2" DBH SPECIMEN; MATURE: 25' HT X 20" SPR	4
M ◊ *	IA	ILEX X ATTENUATA 'EAST PALATKA' EAST PALATKA HOLLY	10' HT. X 5'-6" SPR., 5' C.T., 1-1/2" DBH SGL TRUNK; MATURE: 30' HT X 15" SPR	4
PALM TREES				
S ◊ *	SP	SABAL PALMETTO CABBAGE PALM	HURRICANE CUT, 14" CAL. CLEAR WOOD (C.M.), FER PLANS 3" DIA. ROOT BALL; MATURE: 40' HT	21
M ◊	PEI	PTYCHOSPERMA ELEGANS SOLITAIRE PALM	18' O.A. HT., SINGLE, MATCHED	14
SHRUBS				
M ◊ *	COC	CHRYSOBALANUS ICAGO 'RED TIP' RED TIP COCCOPLUM	3 GAL., 24" HT. X 24" SPR., 24" O.C. FULL TO BASE; MAINTAIN @ 24" HT.	249
M ◊ *	MYF	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER	3' HT. X 30" SPR., 30" O.C. FULL TO BASE; MAINTAIN AT 5'-6" HT	38
F ◊ *	TRII	TRIPSAUM DACTYLOIDES FAKAHATCHEE GRASS	3 GAL., 30" HT. X 30" SPR., FULL, 36" O.C.	17

GROUND COVER			
GIF	FICUS MICROCARPA 'GREEN ISLAND' GREEN ISLAND FICUS	3 GAL., 15" MIN. HT., FULL PLANTS, 24" O.C.	250
MUH	MUHLENBERGIA CAPILLARIS MUHLY GRASS	3 GAL., 24" HT. X 24" SPR., 24" O.C. FULL, MATURE: 12-36" HT.	70
MISCELLANEOUS			
FERT	FERTILIZER TAB # GRANULAR	PER PLANTING SPECIFICATIONS	TBD
MUL3	MULCH SHREDDED EUCALYPTUS 3" DEEP		TBD
SOIL	PLANTING SOIL	PER PLANTING SPECIFICATIONS	TBD
SOD	STENOTAPHRUM SEC. 'FLORATAM' ST. AUGUSTINE FLORATAM SOD	FRESH SOLID SOD REPLACE AS NECESSARY	TBD

◊ INDICATES MODERATE DROUGHT TOLERANCE PER S.F.W.M.D. WATERWISE
 * INDICATES FLORIDA NATIVE SPECIES
 S.M.H. SLOW, MEDIUM, OR FAST RATE OF GROWTH PER S.F.W.M.D. WATERWISE
 ALL PLANTS TOLERATE SUN/PARTIAL SHADE & WILL ADAPT TO THEIR CONDITIONS.

- NOTES**
- ALL REQUIRED SUPPORT STAKES AND BRACING ASSOCIATED WITH NEW TREE AND PALMS MUST REMAIN INTACT FOR ONE YEAR INSTALLATION PER SEC. 31-605(B)(2).
 - LANDSCAPING AROUND THE PERIMETER OF THE BUILDING MEETS SEC. 31-609 AND 31-610.
 - A TWO YEAR LANDSCAPING PERFORMANCE BOND FOR 110% OF THE VALUE OF LANDSCAPING AND IRRIGATION SHALL BE REQUIRED BEFORE THE CERTIFICATION OF OCCUPANCY IS ISSUED. IN ACCORDANCE WITH CITY ORDINANCE SECTION 31-603. THIS WILL BE INCLUDED AS A FUTURE CONDITION OF APPROVAL.

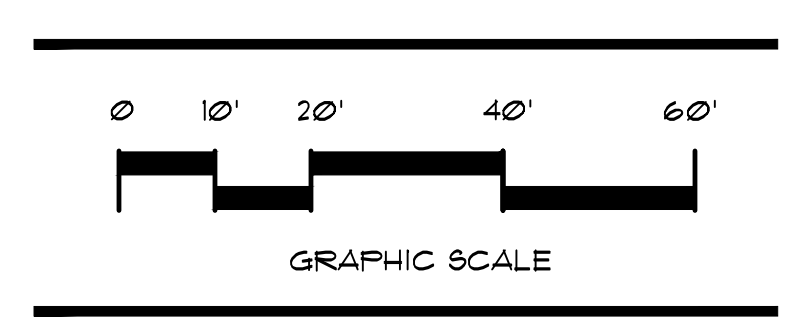
SITE AREA: 104,940 SF (2.41 Acre)
 PROPOSED BUILDING AREA: 41,400 SF-39.3% (40% MAX.)
 PROPOSED PAVEMENT AREAS= 41,976 SF
 TOTAL IMPERVIOUS AREAS= 83,899 SF-79.6%.
 TOTAL PERVIOUS AREAS= 21,041 SF-20%
 PROPOSED LANDSCAPE AREAS= 21,041 SF-20% (20% MIN.)

NOTE:
 FP&L HAS APPROVED TREES PROPOSED IN 10' UTILITY EASEMENT PER LETTER TO THE ARCHITECT.

LANDSCAPE REQUIREMENTS:	REQUIRED	PROPOSED
TOTAL TREES ON PROPERTY	1 TREE /1,500 SF 70 TREES*	1 TREE /1,500 SF 70 TREES*
60% REQ. TREES = NATIVE SHADE	42 TREES	49 TREES
10% REQ. TREES = NATIVE ACCENT	7 TREES	8 TREES
NUMBER OF SHADE TREE SPECIES	4	4
381' L.F. - 10' LANDSCAPE BUFFER @ NORTH PROPERTY LINE ADJACENT TO PARKING LOT	1 TREE/20' & CONT. HEDGE 19 TREES 187 SHRUBS	1 TREE/20' & CONT. HEDGE 19 TREES 187 SHRUBS
TERMINAL & INTERIOR ISLANDS (CODE SECTION 31-610 (c))	1 TREE, SHRUBS & G'COVER PER ISLAND 9 TREES 39 SHRUBS 236 G'COVER	1 TREE, SHRUBS & G'COVER PER ISLAND 13 TREES* 39 SHRUBS 236 G'COVER
PARKING AREA INTERIOR LANDSCAPING - 5' WIDE ALONG SIDE OF BLDG. ABUTTING PARKING LOT	0 TREES 84 SHRUBS 84 G'COVER	4 TREES* 84 SHRUBS 84 G'COVER
DUMPSTER SCREENING	6' WALL/FENCE & HEDGE 38 SHRUBS	6' WALL/FENCE & HEDGE 38 SHRUBS

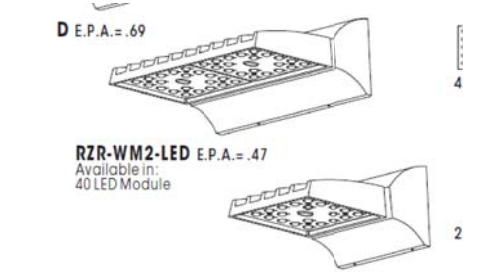
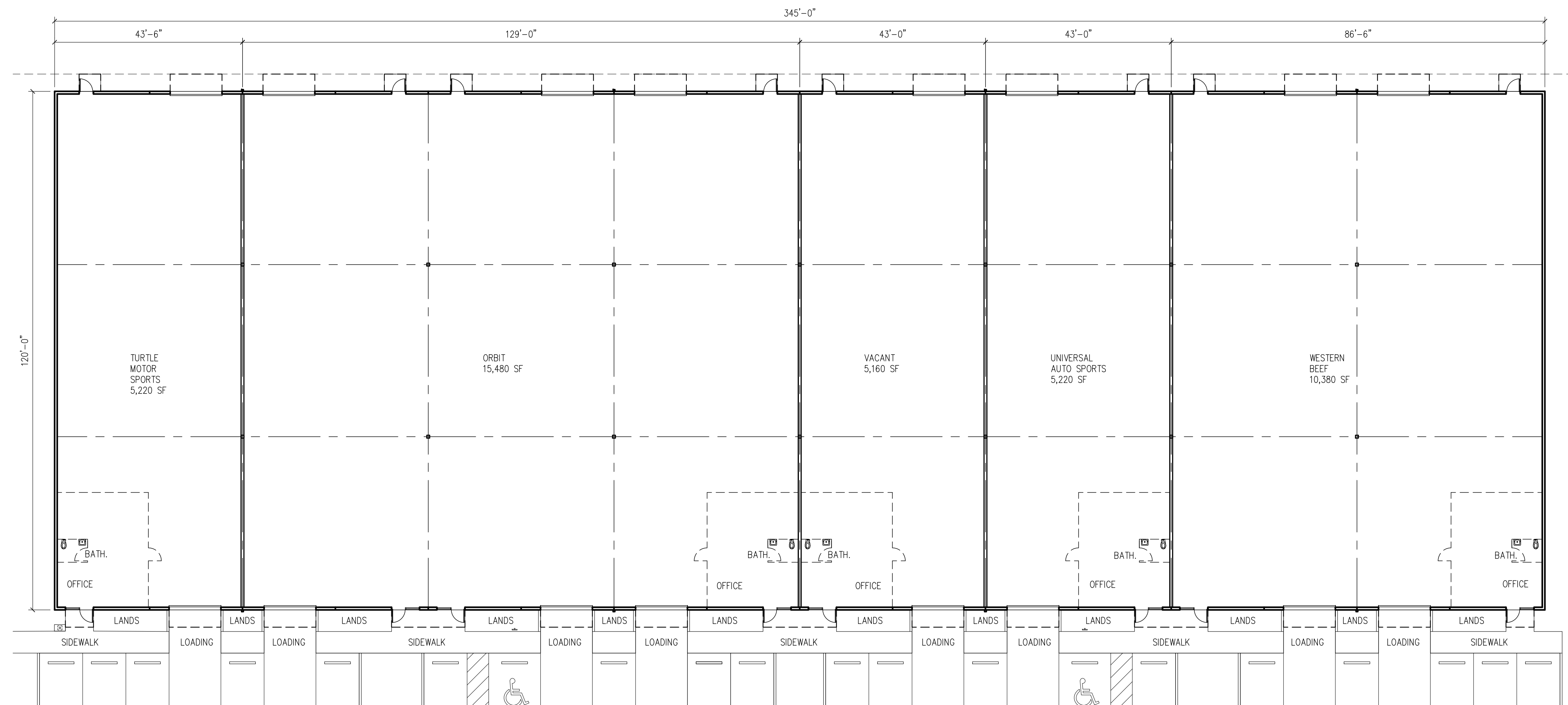
* PALMS CALC. AT 3:1

These plans are based on information/ drawings by H12V received 3/7/17.

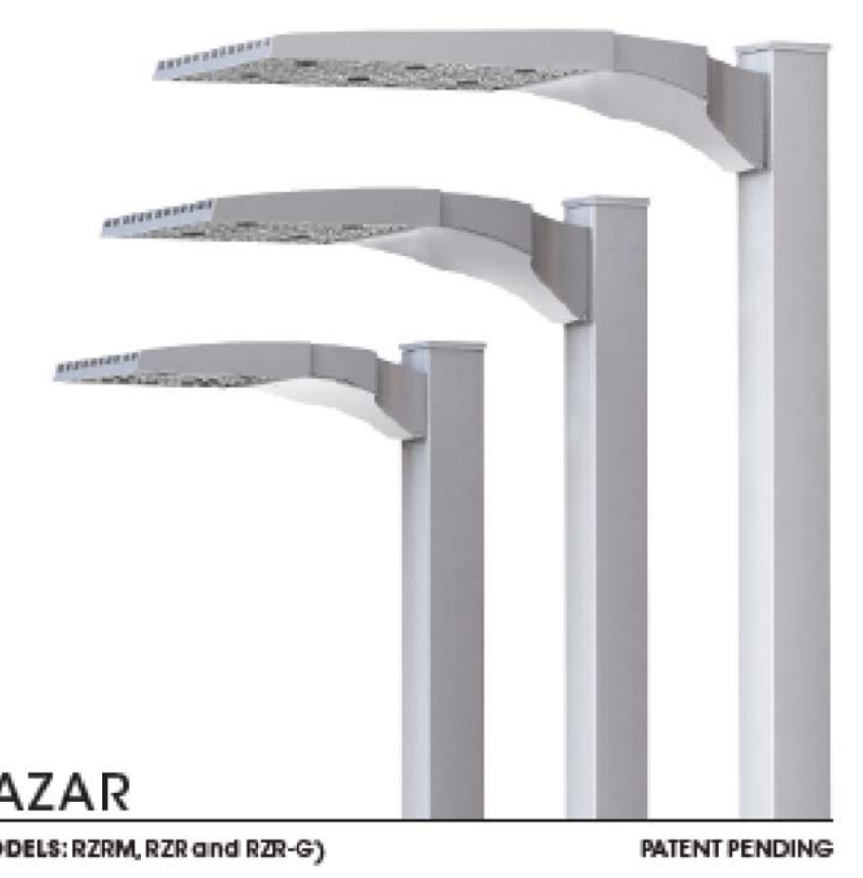


PLANTING PLAN

30 VILLAGE BOULEVARD

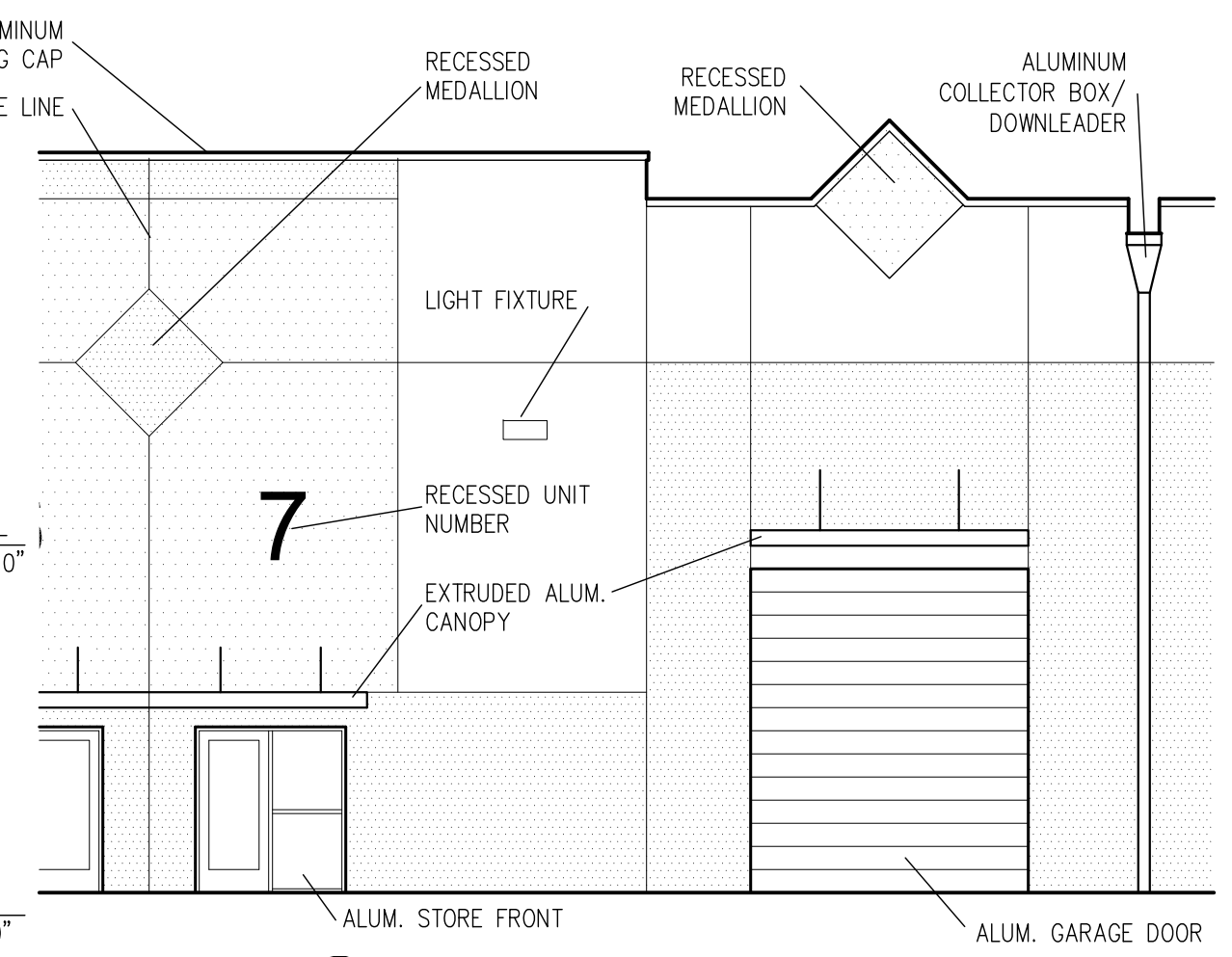
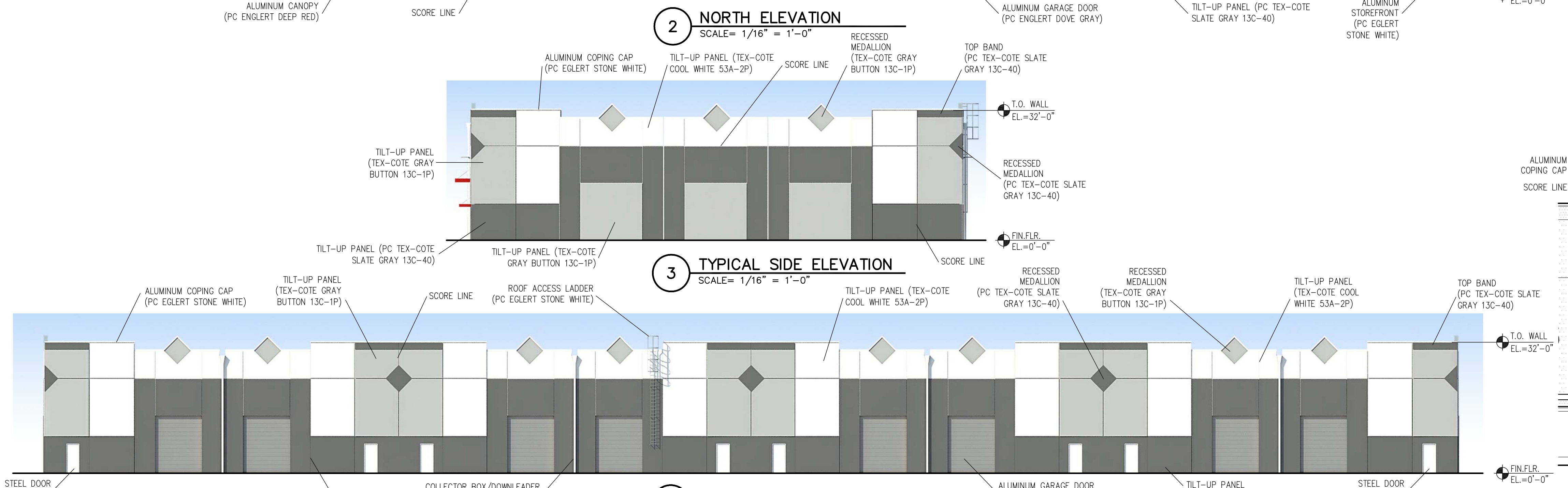
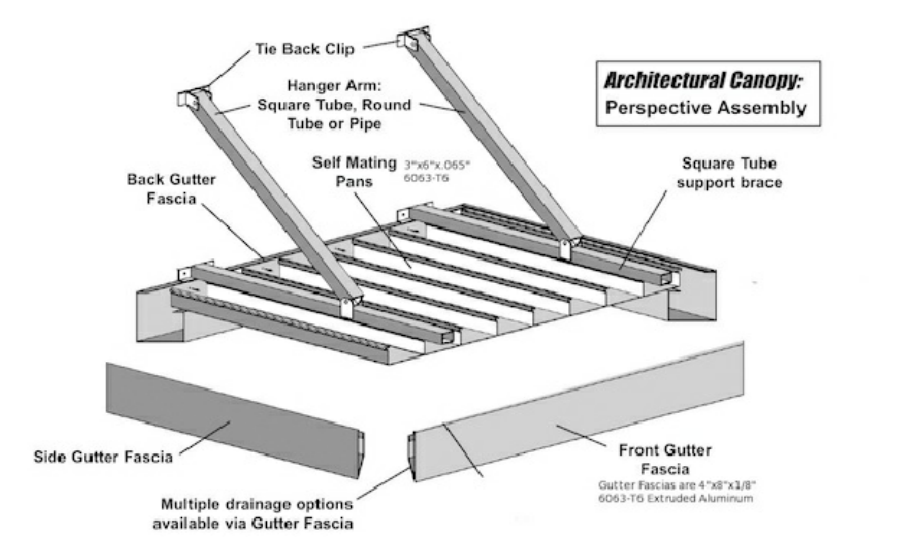


LIGHT FIXTURE - SA & SW (WALL AND POLE MOUNT)
WALL = 20 AFF
POLE = 25 AFF



LIGHT FIXTURE - SB (POLE MOUNT)
POLE = 25 AFF

5 SITE LIGHTING
REFER TO LIGHTING PLANS FOR FIXTURES LOCATION



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FLOOR PLAN
ELEVATIONS
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